

Castle Pines North
Design Guidelines
For
Residential Development

Prepared for:

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Approved and Adopted
by the

Castle Pines North

Design Review Committee

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Design Guidelines for Residential Development

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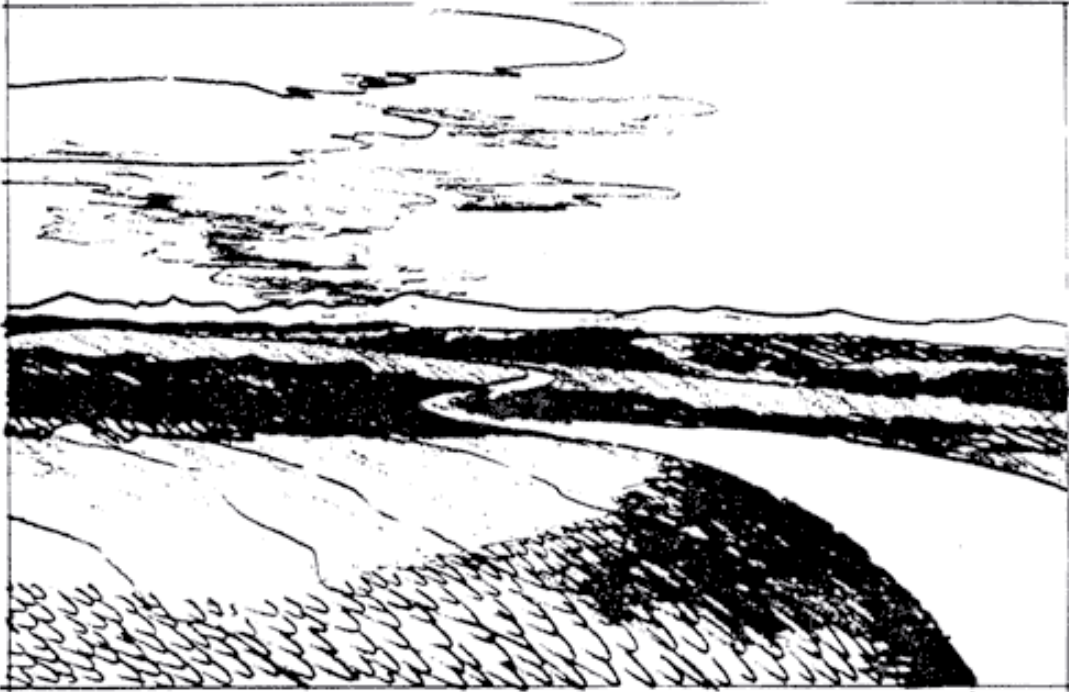
I. DESIGN REVIEW PHILOSOPHY, INTENT AND APPLICABILITY

A. Introduction

The Castle Pines North Community is comprised of several land uses including residential development, open space and recreational areas, two public school sites, a library site, a supporting commercial center, a resort hotel and an eighteen hole championship golf course. Residential development is the primary land use in Castle Pines North and includes several different housing types and densities ranging from single-family detached homes to townhomes and condominiums.

As provided in the Master Declaration of Covenants, Conditions, Restrictions and Easements for Castle Pines North (the "Master Declaration"), recorded on October 22, 1984 in Book 544 at Page 588 in the Douglas County Records, residential development is subject to the design review procedures of the Design Review Committee as established herein. Also, community recreational facilities associated with open space owned, operated and maintained by the Castle Pines North Metropolitan District are also subject to design review procedures of the DRC.

The landscape forms characteristic of Castle Pines North are gently rolling grasslands, oak-covered valley side slopes and various small ridges and valleys. Many areas within the community offer breathtaking views of Colorado's Front Range. The diversity of the topography and vegetation and the dramatic vistas provide an opportunity to create a community, which takes advantage of the inherent beauty of the natural Colorado landscape.



B. Definitions

The following terms utilized in the Castle Pines North Design Guidelines are defined as follows:

- **"Board of Directors" or "Board"**: shall mean the Board of Directors of the Castle Pines North Association, Inc., which is the governing body of the Castle Pines North Association, Inc.
- **"Bylaws"**: shall mean the Bylaws of the Castle Pines North Association, Inc., which establish the methods and procedures of its operation.
- **"Castle Pines North Association Inc."**: A Colorado non-profit corporation headed by Board of Directors. The purpose of the Castle Pines North Association, Inc is to own and maintain common areas, recreational facilities and open space, to administer Association financial responsibilities, and to enforce the Master Declaration.
- **"Castle Pines North Development Guide"**: A manual which sets forth the land uses and development standards for Castle Pines North, a Planned Development District in the unincorporated area of Douglas County, Colorado. It has been reviewed, approved and recorded by the County. Current and future owners and their assigns are required to develop their property in accordance with this Guide as it has been approved or amended from time to time.
- **"Castle Pines North Development Plan"**: A map, which depicts the land, uses within the Castle Pines North Planned Development District. Current and future owners and their assigns are required to develop their property in accordance with the approved Plan.
- **"Castle Pines North Design Guidelines" or "Design Guidelines"**: shall mean this document as amended from time to time.
- **"Castle Pines North Metropolitan District" or "Metropolitan District"**: The quasi-municipal entity formed for the purpose of constructing, maintaining and operating certain common facilities for designated real property which includes property encompassed by the Master Declaration.
- **"Design Review Committee" or "DRC"**: The Committee formed pursuant to Article X of the Master Declaration to maintain quality and architectural, site planning, and landscape harmony of improvements in Castle Pines North.
- **"Major Improvements"**: shall mean any new construction or exterior improvement which significantly changes the exterior appearance of a structure or associated yard or open space area. Major improvements include, but are not limited to, all new buildings and structures, parking areas, loading areas, driveways, ponds, lakes, recreational facilities, permanent signage, excavation and all other site work including grading, road

construction, utility improvements and the addition and/or removal of trees and other plantings.

- **"Master Declaration" or "The Master Declaration of Covenants, Conditions, Restrictions, and Easements for Castle Pines North"**: Reviewed and approved by the Castle Pines Land Company and recorded by Douglas County on October 22, 1984. Its purpose is to protect the value and desirability of the real property in Castle Pines North as defined in the Master Declaration. All such properties shall be held, sold, conveyed, encumbered, leased, rented, occupied and improved subject to the provisions in the Master Declaration.

- **"Minor Improvements"**: shall mean any new exterior construction or exterior improvements which does not significantly change the appearance of a structure or associated yard. Minor improvements shall include, but not be limited to, the addition of solar panels to a roof, color changes to exterior paint or stain on a structure(s), temporary signage, and minor landscaping projects which are not part of an already approved landscape plan.

C. Design Guidelines Concept

Pursuant to the provisions of Article X of the Master Declaration, these Design Guidelines contained herein have been prepared in order to implement the philosophy that minimum standards of design can provide direction to homeowners and builders in the planning, design, and construction of buildings and landscape improvements to ensure that they are compatible with both the natural and man-made environment. The requirements, objectives, standards and procedures contained within the Castle Pines North Design Guidelines are all intended to establish and maintain a community image that complements rather than competes with the surrounding natural landscape and built environment.

The underlying goal of the Castle Pines North Design Guidelines is to provide for variety at the individual scale and an overall harmony at the community scale. Achieving a visual continuity and sense of order throughout the community is its primary focus. The Design Guidelines are not a "building code" but rather recommendations for good design. They are the criteria by which the Design Review Committee (DRC) will review and approve or disapprove individual projects and, therefore, should be carefully followed.

D. Design Review Committee

The Design Review Committee (DRC) consists of five (5) members, including a chairman, all of whom are appointed by the Castle Pines Land Company initially and, over time, by the Board of Directors of the Castle Pines North Association. The length of all DRC membership terms is one year beginning on January 1 of each year and continuing until a successor is appointed.

The DRC has adopted these Castle Pines North Design Guidelines and it is the responsibility of the DRC to review, study and either approve or disapprove any proposed improvement or development in the Castle Pines North Community based on the Castle Pines North Design Guidelines the Master Declaration for Castle Pines North the Castle Pines North Development Guide and the Castle Pines North Development Plan Refer to Section I-B for definitions of these terms.

II. DESIGN REVIEW PROCEDURES

The review and approval procedures, which follow, provide the framework by which the Design Review Committee (DRC) will review, process and approve construction of improvements within Castle Pines North. Plans and specifications shall be submitted to the DRC in accordance with the following review and submittal procedures.

A. Approval Required

Except for Design Review Committee exemptions and "staff level" approvals as described below, any construction or reconstruction or the refinishing or alteration of any part of the exterior of any building or other improvement in Castle Pines North is prohibited until a developer or homeowner first obtains approval thereof from the Design Review Committee. All improvements shall be constructed only in accordance with approved plans.

Every violation of the Design Guidelines including, without limitation, any construction, reconstruction, refinishing, or alteration of any improvement in Castle Pines North or landscaping without approval by the Design Review Committee or the alteration of any improvement or landscaping in Castle Pines North not in conformance with plans that have received approval from the Design Review Committee, are declared to be and to constitute a nuisance. Every public or private remedy allowed by law or in equity against a homeowner or developer/builder shall be applicable against every said violation. The Design Review Committee shall also be entitled to all remedies provided in Article XI of the Master Declaration.

B. Exemptions

The following types of changes, additions or alterations do not require the approval of the DRC. It is recommended that one check with the DRC staff representative(s) to confirm that the proposed changes are, indeed, exemptions rather than "minor applications" which require staff level review and approval. Although exempt from review by the DRC, all work must proceed in accordance with all federal, state and local codes, ordinances and regulations having jurisdiction at the site.

1. Addition of vegetation to a property in accordance with a previously approved landscape plan.
2. Modifications to the interior of a structure when those modifications do not materially affect the outside appearance of the structure.
3. Repainting and/or re-staining in original colors.

4. Repairs to a structure in accordance with previously approved plans and specifications.
5. Seasonal decorations if removed promptly (within 15 days following the holiday)
6. Removal of dead or diseased vegetation.

Only those items listed above are exempt from the residential Design Review Process. All other types of residential construction, development, landscaping, site modification, etc. must comply with the Procedures and Guidelines contained herein.

C. Staff Level Approval

Certain Design Review Applications are considered to be "minor applications" and can be reviewed on the "staff level" rather than having to go through the full Design Review Process. The determination of whether or not an application is "minor" is made by DRC staff representative(s) at the Pre-Design meeting.

Such applications include but are not limited to minor structural changes to the exterior of a building (i.e. the addition of solar panels to a residence's roof, etc.), color changes to exterior paint or stain on a structure(s), temporary signage, and minor landscaping projects which are not part of an already approved landscape plan. The DRC staff may at any time refer any application to the DRC for approval if they so desire. Minor applications must be in conformance with these Design Guidelines.

D. Removal of Nonconforming Improvements

The Design Review Committee, after proper Demand, Notice and Hearing procedures are followed as provided in the Bylaws of Castle Pines North Association, Inc. (Sec. 9.05), may require an offender and/or owner to remove any improvements constructed, reconstructed, finished, altered or maintained in violation of the Design Review Committee's approval. The owner thereof shall reimburse the Castle Pines North Association for all expenses incurred by the Association or by the DRC in connection therewith.

E. Pre-Design Meeting

This initial phase is the time the Applicant and his Planner, Landscape Architect, Architect or all, meet with the DRC staff representative(s) to discuss proposed plans and resolve any questions regarding the review process and fees, building requirements in Castle Pines North, or any other issues. An appointment for the pre-design meeting should be scheduled so that all meeting participants receive at least fourteen (14) days notice. Prior to the pre-design meeting, the "DRC

Pre-Design Reporting Form" should be completed. A copy of this form can be found in the Appendix of the Castle Pines North Design Guidelines or obtained from the DRC staff representative(s).

The Applicant should obtain copies of the following documents from the DRC staff representative(s) at the Pre-Design meeting if he or she does not already have such copies:

- The Master Declaration of Covenants, Constraints, Restrictions and Easements for Castle Pines North;
- Castle Pines North Development Plan;
- Castle Pines North Development Guide;
- The most current fee schedule for design review in Castle Pines North.

F. Conceptual Design Review

1. Submittal Contents

The purpose of Conceptual Design Review is to review the conceptual designs of a project prior to commencement of more detailed drawings. The contents of the submittal information shall include but not be limited to two (2) copies each of the following:

- a. A conceptual description of the site plan, grading plan, floor plans, elevations, roof design, exterior materials, character of the proposed structure(s), landscape plans and initial drainage and erosion control measures.
- b. Scale Minimum: 1" = 20' for single structure/residence; minimum 1" = 50' for multiple structures/residences. Site and landscape plans are required to use the above-mentioned scales. For floor and elevation plans, use a minimum scale of 1/4" = 1'.
- c. Sketch showing that the proposed building height is in accordance with the height limitations set forth in the Castle Pines North Development Guide.
- d. Completed DRC Reporting Form for Conceptual Design Review. There are two (2) types of DRC

Reporting Forms for Conceptual Design Review depending on the type of application being submitted as follows:

- 1) Residential development and/or associated improvements and

2) Signage. A copy of these forms can be found in the Appendix of the Castle Pines North Design Guidelines or obtained from the DRC staff representative(s). Signage applications are not required to go through Preliminary Design Review, but instead, may proceed to Construction Document Review after Conceptual Design Review approval is received.

2. Design Review Fee

A one-time fee payable at the time of submittal of each proposal for Conceptual Design Review. Different categories of design review fees have been established depending on the type of development proposed in Castle Pines North. They are as follows:

- Residential Development - New construction or major improvements to a residence and/or its landscaping would be considered part of this category. Design Review Fees for residential development are based on the type and number of dwelling unit(s) being proposed as follows:

Type of Residence Being Proposed	Design Review Fee
Single-family detached residences	\$350.00 (per unit fee)
Model homes	\$600.00 (per model home fee)
Single-family attached residences	\$150.00 (per unit) fee; not to exceed \$3,000.00 maximum)

Example #1

An Applicant proposing 100 single-family detached units with eight (8) model home designs would only be charged a design review fee for the eight model homes (\$4,800) and not for the entire 100 units. The Applicant must provide the DRC with any and all possible variations for a particular model home (i.e., color and trim variations, floorplan, and/or elevation variations, etc.). The DRC reserves the right to decide whether the proposed variations on a particular model home are substantial enough to warrant an additional model home review fee.

Example #2

An Applicant proposing a thirty (30) unit townhome project would be charged the maximum design review fee of \$3,000 for single-family attached residences rather than the \$150 per unit fee (which would total \$4,500). No single-family attached residential proposal exceeding 20 units will be required to pay more than \$3,000.

- Signage - \$10.00 base fee plus \$1.00 per sq. ft. (payable to Douglas County) An Applicant must receive written approval from the DRC prior to applying for a

sign permit from the County. The only fee is payable to the County, not to the DRC.

- Minor Applications - No Fee "Minor" design review applications are not subject to Design Review fees. Such applications include, but are not limited to a) changes to paint or stain color on structure(s); b) temporary real estate "for sale" or "for rent" signage; c) minor landscaping additions which are not part of an already approved landscape plan and d) the addition of a tool shed to one's back yard. DRC staff representative(s) will review and have the authority to approve or disapprove these "minor" applications on the staff level without going through the full Design Review Process. DRC staff representative(s) will determine which applications are "minor" and which are not.

3. Schedule

The Applicant should submit the required Conceptual Design Review information to the DRC at least fourteen (14) calendar days prior to the next scheduled DRC meeting. No Submittal will be scheduled for review, however, until the application is found to be complete by the DRC staff representative(s).

The DRC shall take action on Conceptual Design Review Submittals within seven (7) calendar days of the DRC meeting and shall notify the Applicant in writing of its decision. If the Submittal is found not to be in compliance with the Design Guidelines or the Development Guide, the DRC shall provide the applicant with a written description of the aspects in which the Submittal does not comply. The Applicant may resubmit conceptual plans if the DRC's findings are negative.

G. Preliminary Design Review

1. Submittal Contents

The purpose of Preliminary Design Review is to review the project design in significant detail, prior to the commencement of working drawings. The contents of the submittal information shall include but not be limited to two (2) copies each of the following:

a. Survey: Scale Minimum 1" = 20' for single structure/residence; minimum 1" = 50' for multiple structures/residences. It is to be prepared by a licensed surveyor, showing lot boundaries, setbacks, bearings and dimensions, topography at 2' intervals, major terrain features including rock outcroppings and drainages, existing roads, utility easements, existing utility lines (water, sewer, electric, telephone, gas, cable T.V.) and other improvements. The locations of all existing trees 3" in diameter or larger and all existing stands of scrub oak or other species shall also be shown.

b. Site Plan: Scale Minimum 1" = 20' for single structure/residence; minimum 1" = 50' for multiple structures/residences. Shall show north arrow, property lines, grade elevations, building envelopes, parking and vehicular circulation, plazas, patios, walks, services, site amenities, site appurtenances (such as mechanical equipment, trash enclosures, etc.), adjacent roadways, setbacks and uses. The site plan shall designate proposed limits of construction activity and if applicable, project phasing.

c. Landscape Program Information: The following four plan elements shall be submitted either separately or in one document, as appropriate.

- Grading Plan: Scale Minimum 1" = 20' for single structure/residence; minimum 1" 50' for multiple structures/residences; shall show finish grade elevations and natural and finish contours.
- Drainage Plan: Scale Minimum 1" = 20' for single structure/residence; minimum 1" = 50' for multiple structures/residences. Indicate on plan culvert sizes, if they are to be utilized.

- Planting/Landscape Plan: Scale: Minimum 1" = 20' for single structure/residence; minimum 1" = 20' for multiple structures/ residences. Indicate sizes and common and botanical names for all plant materials. All landscape features such as fences, walls, retaining structures, landscape lighting, dog runs, signage, etc. shall be shown on the Planting/Landscape Plan. Paving specifications shall also be indicated.

- Irrigation Plan: Scale Minimum 1" = 20' for single structure/residence; minimum 1" = 50' for multiple structures/residences. Shall show location and type of irrigation system proposed.

d. Exterior Building Elevations: Scale Minimum: 1/4" = 1'0". Include views of all typical building surfaces showing fenestration, materials, graphics or any other visible features. Elevations should indicate both existing and proposed grade lines. For model homes being reviewed by the DRC, indicate all potential elevation variations of a particular model home's design (i.e., the addition of a garage, a patio, etc.).

e. Building Floor Plans: Scale Minimum 1/4" = 1'0". For model homes, indicate the floor plan variations that are possible within a particular model.

f. Building Section(s): If necessary, to show arrangement of unusual spaces or common areas or clarify relationship to grade.

g. Perspective drawings, sketches and/or models as necessary to explain the character and form of the building(s) three-dimensionally. Particular attention should be given to illustrating the roof forms of buildings.

h. Color/Sample Board: Indication of all exterior materials and colors. For model homes being reviewed by the DRC, indicate all potential color and material variations on a particular model home.

i. An Environmental Protection Plan will be required for all Developments involving two or more acres and should address the following three topics:

1) Erosion control;

2) Protection of existing vegetation; and

3) Re-vegetation. For developments involving less than two acres, an Environmental Protection Plan may be required by the DRC based upon slope and soil conditions.

The Environmental Protection Plan shall contain measures, both structural and non-structural, designed to minimize erosion both during and after construction. Identification of vegetated areas to be preserved and methods of protecting existing vegetation during the construction phase shall also be described in the Environmental Protection Plan. The re-vegetation plan shall include plans for the re-vegetation of land disturbed by development and construction activity.

j. The DRC may require the submittal of additional plans, drawings, specifications, samples or other material if deemed necessary to determine whether a project will comply with the Castle Pines North Design Guidelines

k. Completed DRC Reporting Form for Preliminary Design Review. This form can be found in the Appendix of the Castle Pines North Design Guidelines or obtained from the DRC staff representative(s).

2. Schedule

The Applicant should submit the required Preliminary Design Review information to the DRC at least fourteen (14) calendar days prior to the next scheduled DRC meeting. No Submittal will be scheduled for review, however, until the application is found to be complete by the DRC staff representative(s).

The Design Review Committee shall take action on Preliminary Design Review Submittals within fourteen (14) calendar days of the DRC meeting. If, in the opinion of the DRC, the Submittal complies with the Design Guidelines, written approval shall be granted. If the Submittal is found not to be in compliance with the Design Guidelines, the DRC shall provide the applicant with a written description of the aspects in which the Submittal does not comply. The applicant must then present required revisions to the DRC and follow the same review procedures.

III. DESIGN GUIDELINES

The Design Review Committee places an emphasis on the design of Castle Pines North as a total, integrated community. Within each Planning Area and development project, design expressions in terms of massing, scale and color should relate to adjacent improvements and to the total Castle Pines North community. Orientation of uses should acknowledge basic site conditions, adjoining building uses and overall circulation patterns. These Guidelines, while stressing overall integration, are also intended to provide flexibility for builders and homeowners in design, materials, etc.

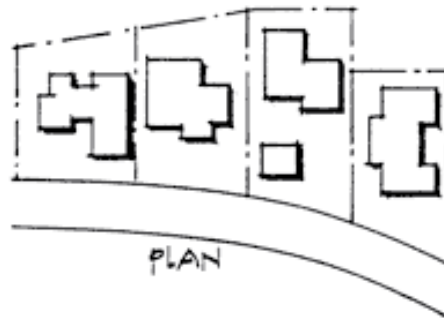
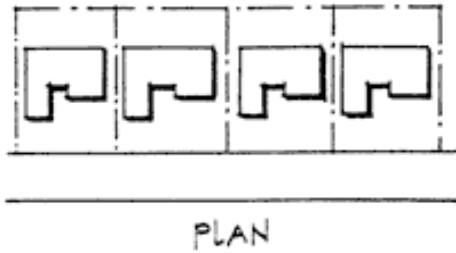
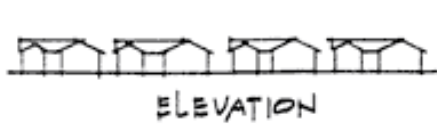
The Castle Pines North Design Guidelines are divided into three major divisions of Guidelines as follows: A) SITE PLANNING GUIDELINES; B) ARCHITECTURAL DESIGN GUIDELINES; and C) LANDSCAPE DESIGN GUIDELINES.

A. Site Planning Guidelines

The Planning Areas and Building Projects within Castle Pines North are important elements of a total community. As such it is critical that each project interact with the others in order to produce a cohesive environment. To accomplish this goal, all builders and homeowners will be required to comply with the following design criteria:

1. Site Design

- Site planning shall respect the relationship to existing landforms. Natural topography shall be maintained wherever possible and any development shall be designed to conform to and complement existing topography to the maximum extent possible.
- In residential areas an attempt should be made when siting homes to vary the front yard and side yard setbacks (within the standards established in the Castle Pines North Development Guide as well as to offer a variety of building forms and elevations along a street wherever possible.



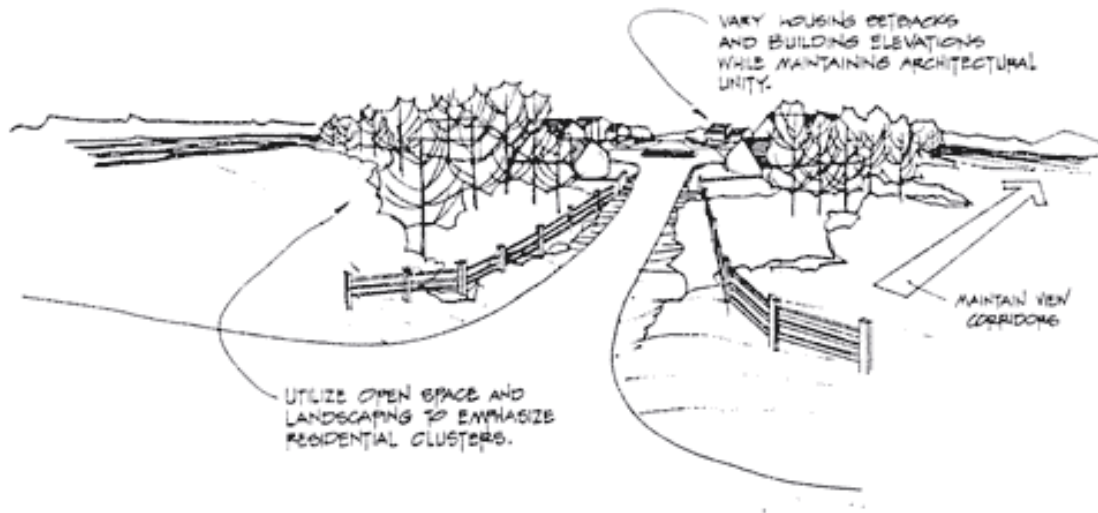
AVOID REPETITIOUS DESIGN
AND THE APPEARANCE OF
ROW HOUSES

VARY BUILDING
SETBACKS, SIDEYARDS,
ELEVATIONS AND
FLOOR PLANS.

NOT THIS:

THIS:

- When siting buildings, the following guidelines should be considered: a) avoid siting of buildings on ridge lines; b) avoid siting of buildings in natural drainage channels; c) siting buildings to take advantage of potential solar gain, i.e., southern orientation of buildings; and d) utilize the natural vegetation on a site wherever possible to soften the impact of buildings.
- Aggregation of open space and common areas is encouraged in all areas through creative grouping of buildings. When planning a site, distant and close-in view corridors should be preserved wherever possible. Also, view corridors looking into and out of a site should be maintained where appropriate.

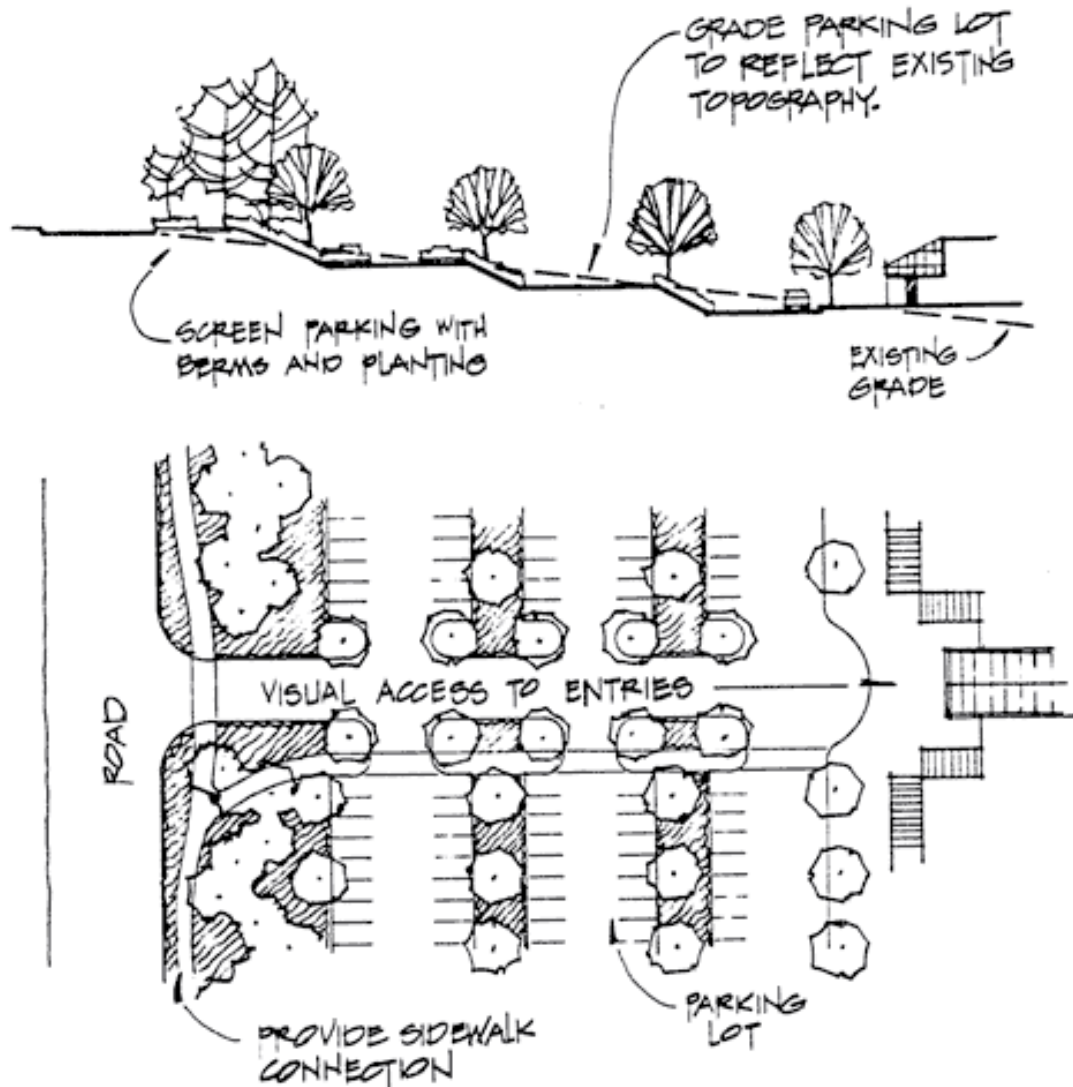


2. Streets/Local Roads/Driveways

- Streets and local roads within Planning Areas and driveways accessing privately-owned sites shall be designed with careful consideration of existing slopes and proposed grades. All local roads shall be constructed in compliance with the approved Castle Pines North Roadway Standards.
- Streets and local roads within Planning Areas shall be designed in such a way that they are consistent with and are aligned with streets and local roads in adjacent development areas.
- Lighting, signage, and fencing along all streets shall be in compliance with the prototypes established by the DRC for Castle Pines North.

3. Parking

- No on-street parking is allowed on Castle Oaks Avenue (100 ft. R.O.W.) or on any of the collector roads (80 ft. or 60 ft. R.O.W.). On-street parking is allowed only on the local neighborhood roads (50 ft. R.O.W.) where designated.
- Off-street parking lots should be screened by landscaping and/or landforms as much as possible without inhibiting views to the parking lot entrances or to buildings. Site planning should avoid buildings which are surrounded on all sides by parking. Grading of parking lots should relate to existing topography. Refer to the Castle Pines North Development Guide for specific off-street parking requirements and standards.



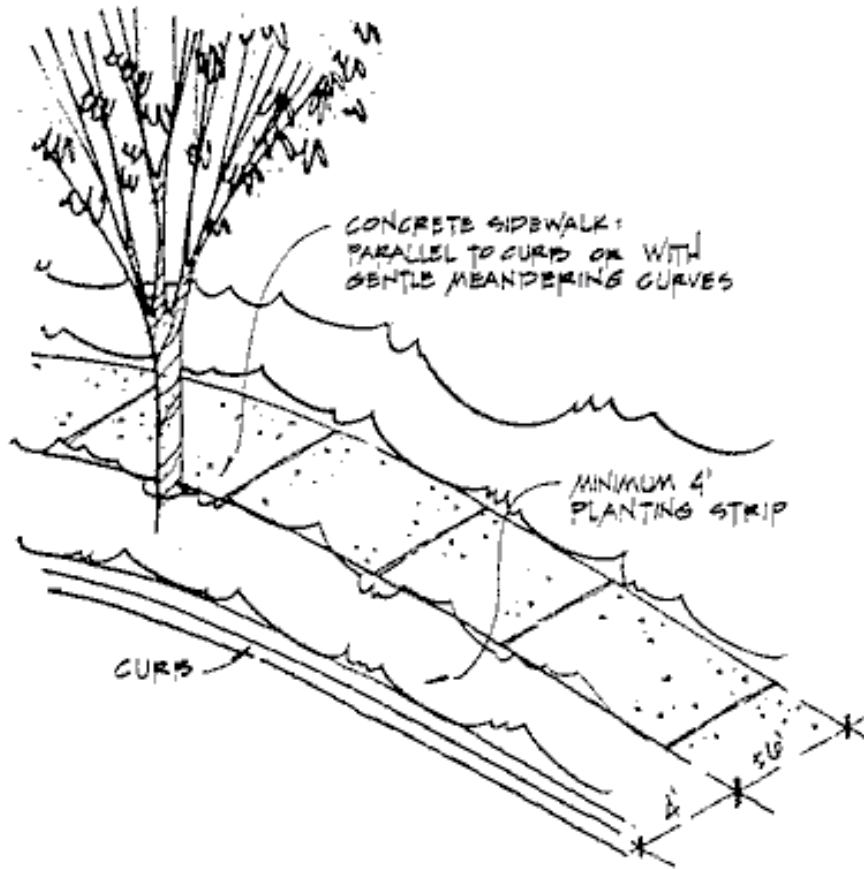
- Structured parking associated with multi-family residential projects is allowed in Castle Pines North. If developed, structured parking should be unimposing and integrated into the structure and/or land with which it is to be associated.

4. Pedestrian Circulation/Sidewalks

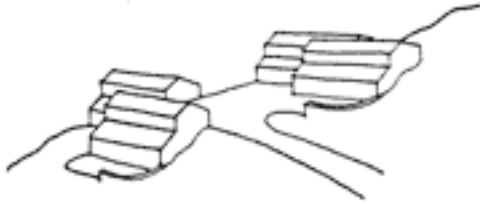
- On-site pedestrian circulation designed and built within each development project must tie into the overall pedestrian network contained in the "Recreational Trails and Open Space Plan" contained in the Castle Pines North Development Guide. Bikeways, walkways and trails should be designed so that they follow the natural contours of the site and, therefore, keep cut and fill areas to a minimum.

It is recommended that sidewalks built along the roadsides in Castle Pines North be separated from the street by a planting/landscape median. Concrete, as

opposed to asphalt, is the recommended paving material for sidewalks along roads in Castle Pines North.



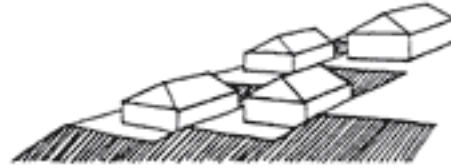
5. Grading



MAINTAIN NATURAL TOPOGRAPHY BY:

- CLUSTERING RESIDENTIAL UNITS.
- UTILIZING FLOOR PLANS THAT ALLOW FOR GRADE CHANGE.

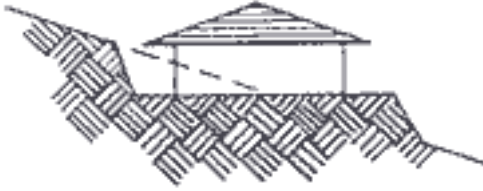
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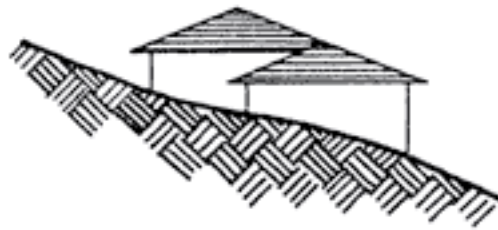
EXCESSIVE GRADING IS NOT DESIRABLE. AVOID:

- OVERLOT GRADING
- BUILDING ON RIDGELINES.

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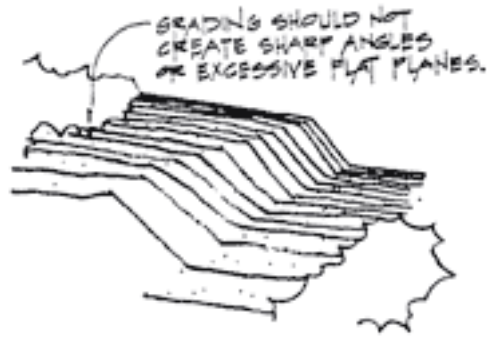


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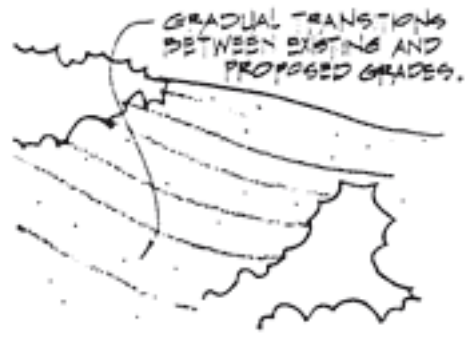


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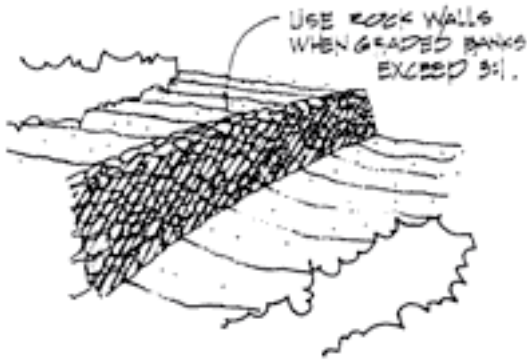
Excessive grading should not be necessary in Castle Pines North and is not desirable for sensitive siting of improvements. Grading should produce graceful contours, not sharp angles, and should respect the natural land forms. Contoured swales and berms can be used to soften the impact of the structures and fences on each lot. Vary the degree of long slopes to avoid the unnatural look of broad flat surfaces. When grading requires banks in excess of 3:1 slope, stone retaining walls are recommended as an alternative design feature.



NOT THIS:



THIS:



THIS:

6. Erosion Control

It is of great importance to provide temporary erosion control during the construction period. In order to prevent damage to the site and siltation of adjoining areas, temporary barriers such as hay bales and drainage structures such as temporary

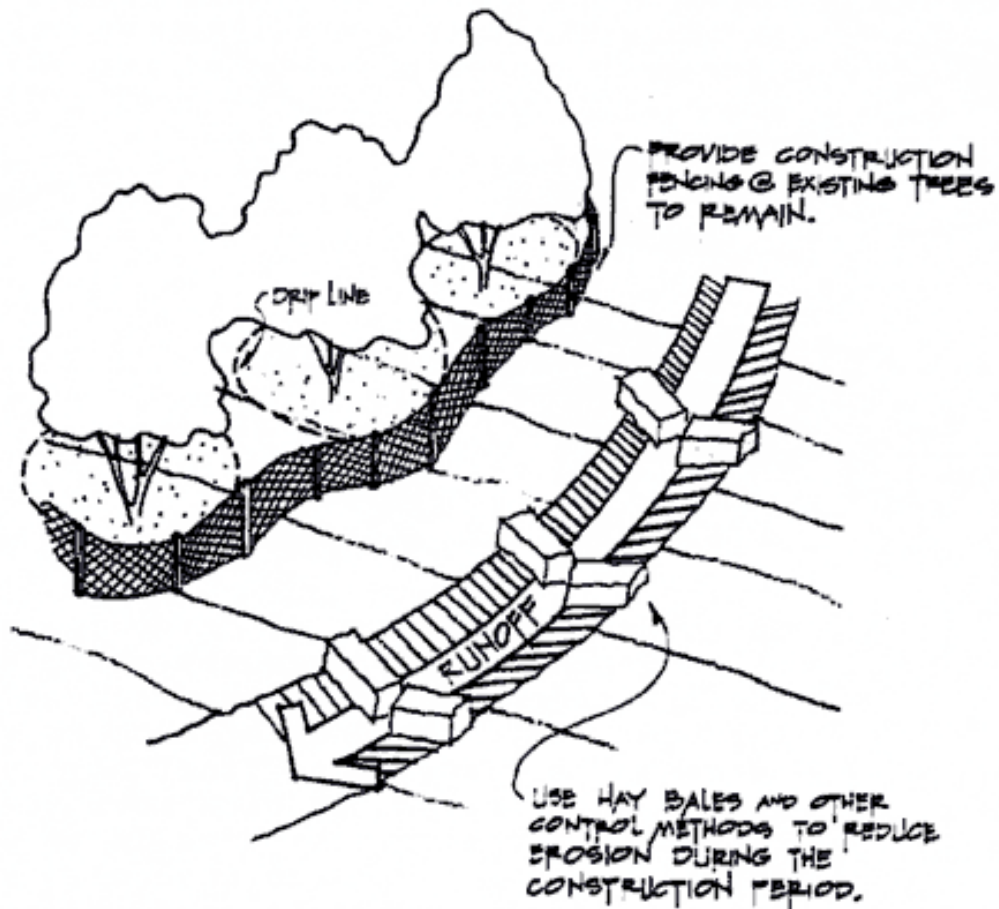
Excessive grading should not be necessary in Castle Pines North and is not desirable for sensitive siting of improvements. Grading should produce graceful contours, not sharp angles, and should respect the natural land forms. Contoured swales and berms can be used to soften the impact of the structures and fences on each lot. Vary the degree of long slopes to avoid the unnatural look of broad flat surfaces. When grading requires banks in excess of 3:1 slope, stone retaining walls are recommended as an alternative design feature.

6. Erosion Control

It is of great importance to provide temporary erosion control during the construction period. In order to prevent damage to the site and siltation of

adjoining areas, temporary barriers such as hay bales and drainage structures such as temporary

sediment ponds should be utilized as needed. Temporary fencing at the dripline of existing vegetation will help prevent alteration of grades and damage to branches and foliage by equipment during construction. The Douglas County Soil Conservation District has detailed information on the subject of soil erosion control.

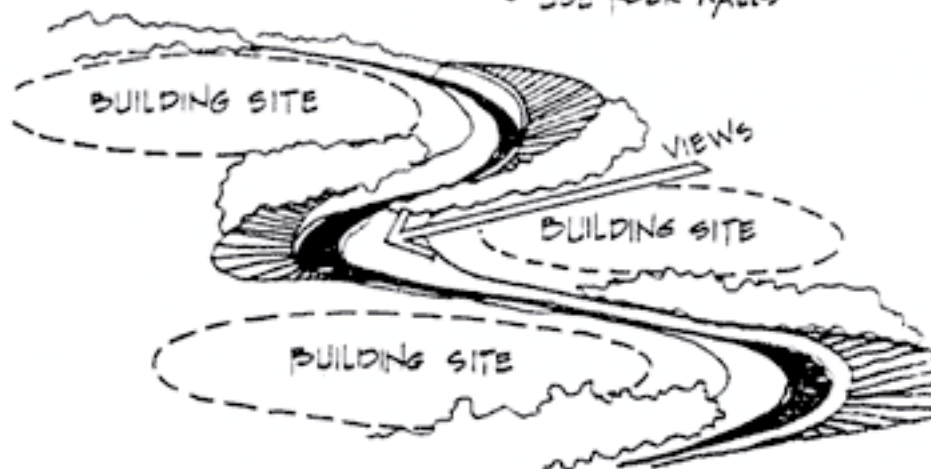


7. Drainage/Culverts

• Each Planning Area and every site within a Planning Area is expected to collect all storm water and release it at points consistent with the Drainage Plan developed as part of the Service Plan for the Castle Pines North Metropolitan District. Drainage from adjoining lots or onto adjoining lots should be accommodated in such a manner that it does not cause soil erosion or impede drainage flows or result in excessive drainage onto adjacent lots. Natural drainage patterns should be maintained, enhanced or restored wherever possible.

THIS:

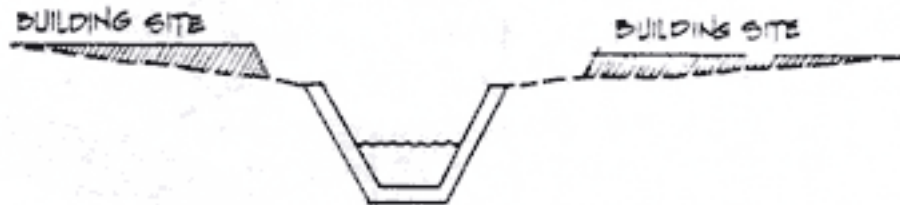
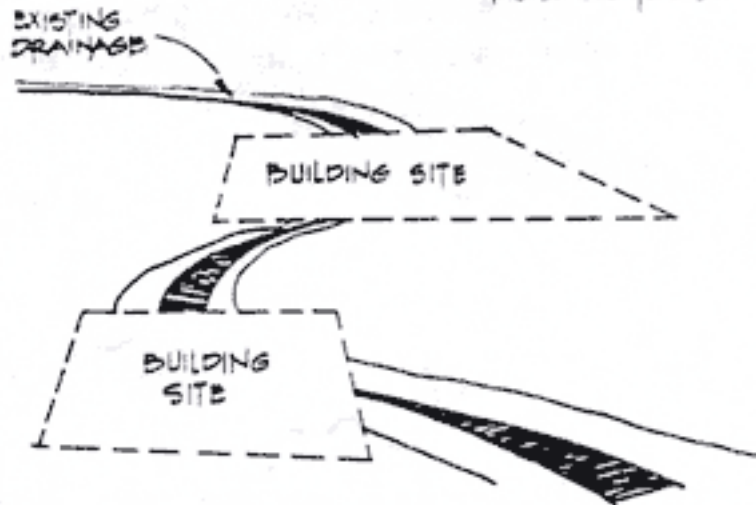
- MAINTAIN NATURAL DRAINAGE PATTERNS.
- USE NATIVE OR NATURAL MATERIALS.
- IMPROVE VISUAL ACCESS
- USE ROCK WALLS



SECTION:

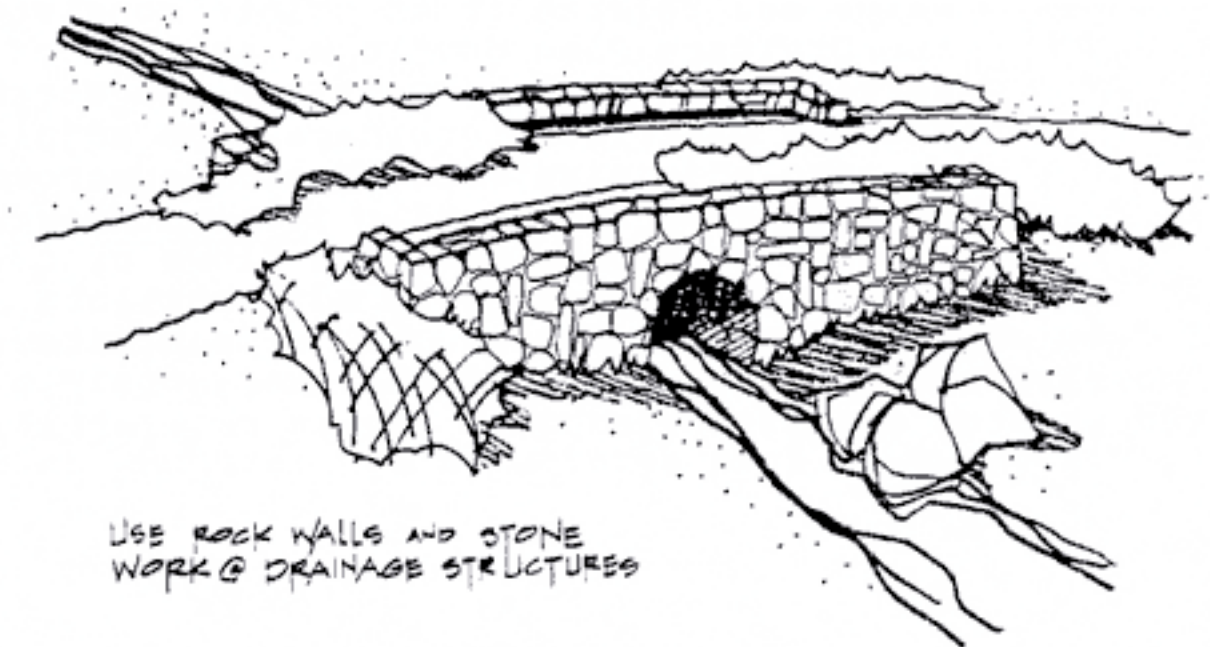
NOT THIS:

- DO NOT CHANNELIZE DRAINAGE w/ UN-NATURAL CULVERTS OR TRENCHES.
- DO NOT INTERRUPT NATURAL DRAINAGE w/ BUILDING PADS.



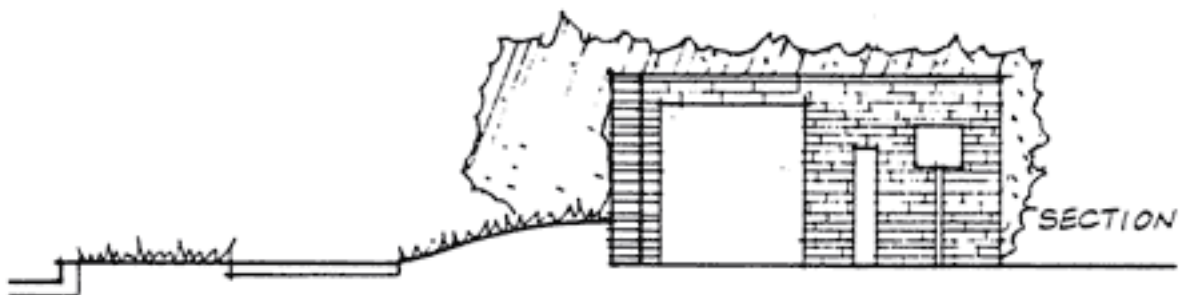
SECTION:

- Culverts used as part of driveway, road or other landscape improvements shall be sized for the drainage quantities expected to pass through them. The ends of such culverts shall be cut on a diagonal to final slopes; these ends should be treated with rock or stone riprap or stone retaining walls to prevent erosion of the slope and channel. Riprap and retaining wall materials used in Castle Pines North shall be consistent with the material and design prototypes approved by the DRC. No metal flared end sections shall be allowed for use in culvert end treatments.

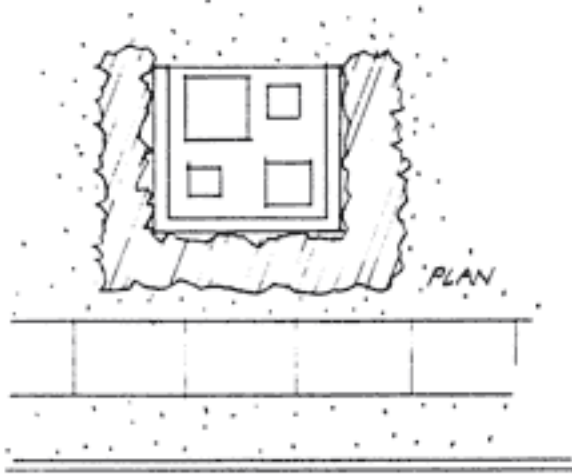


8. Utilities

All utilities must be underground within Castle Pines North. Above ground appurtenances such as transformers, meters, vents, etc., should be located as inconspicuously and as far back from the roadway as possible. If visible from the street, additional visual screening will be required for such appurtenances including planting, berming or other appropriate techniques such as the construction of enclosures or walls similar in materials and construction to the wood screen fence prototype or the stone wall as shown below.



MAJOR GROUPING
OF UTILITIES



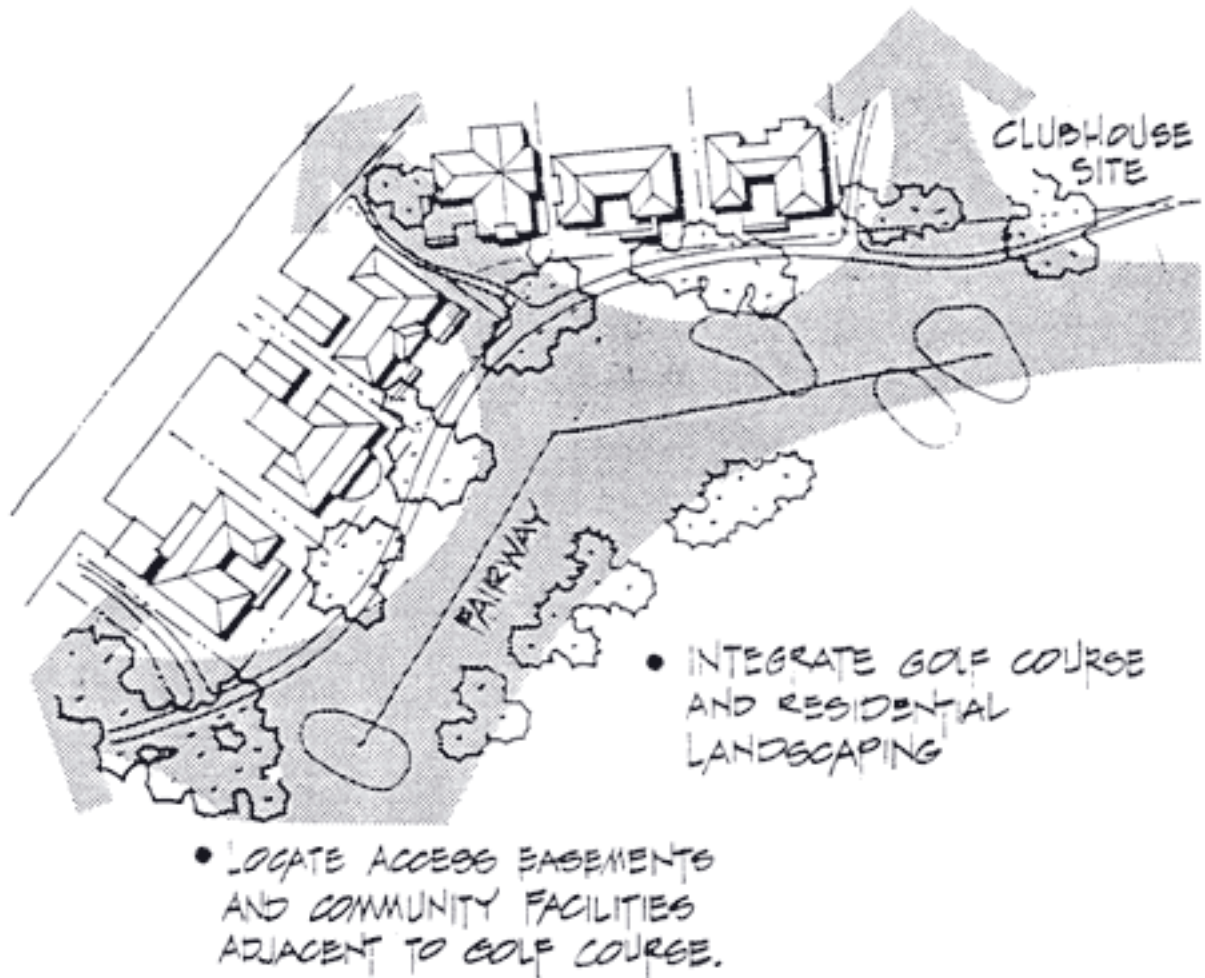
MINOR GROUPING
OF UTILITIES



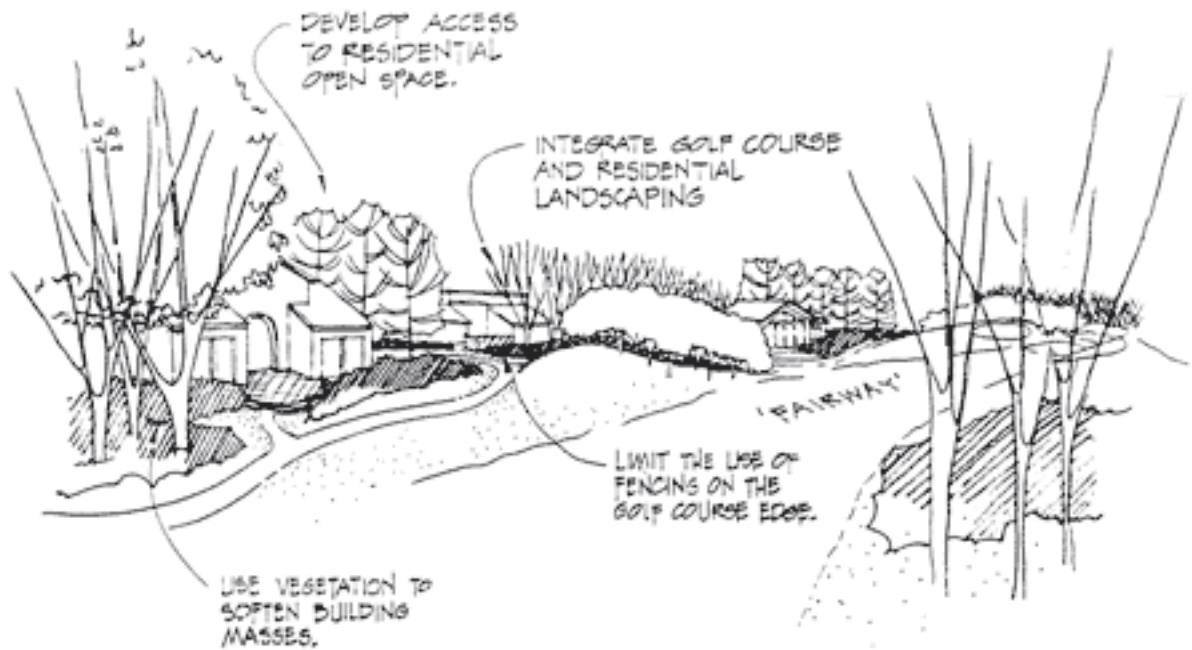
UTILITY SCREENING
CASTLE PINES NORTH

9. Golf Course Edges

- The edge of the Castle Pines North golf course as it interfaces with residential areas and other development areas should be designed to enhance the resort atmosphere of the golf course. It is one of the major elements of Castle Pines North, a primary open space and view amenity for residents, employees and visitors alike.



- The "Ground Plane" of the golf course (i.e. the plantings and the land forms) should continue into the residential areas and other development areas up to the edge of patios or walls of buildings wherever possible. In other words, an effort should be made to minimize any landscape differentiation between the golf course and adjacent properties. If fencing is to be built along the golf course edges, the open-rail fence prototype which has been approved by the DRC shall be utilized.



- "The Walls" along the golf course which shape the fairway open spaces are made up of trees and building walls. Together they should be designed to minimize the mass of buildings as perceived from the golf course.

10. Community Open Space

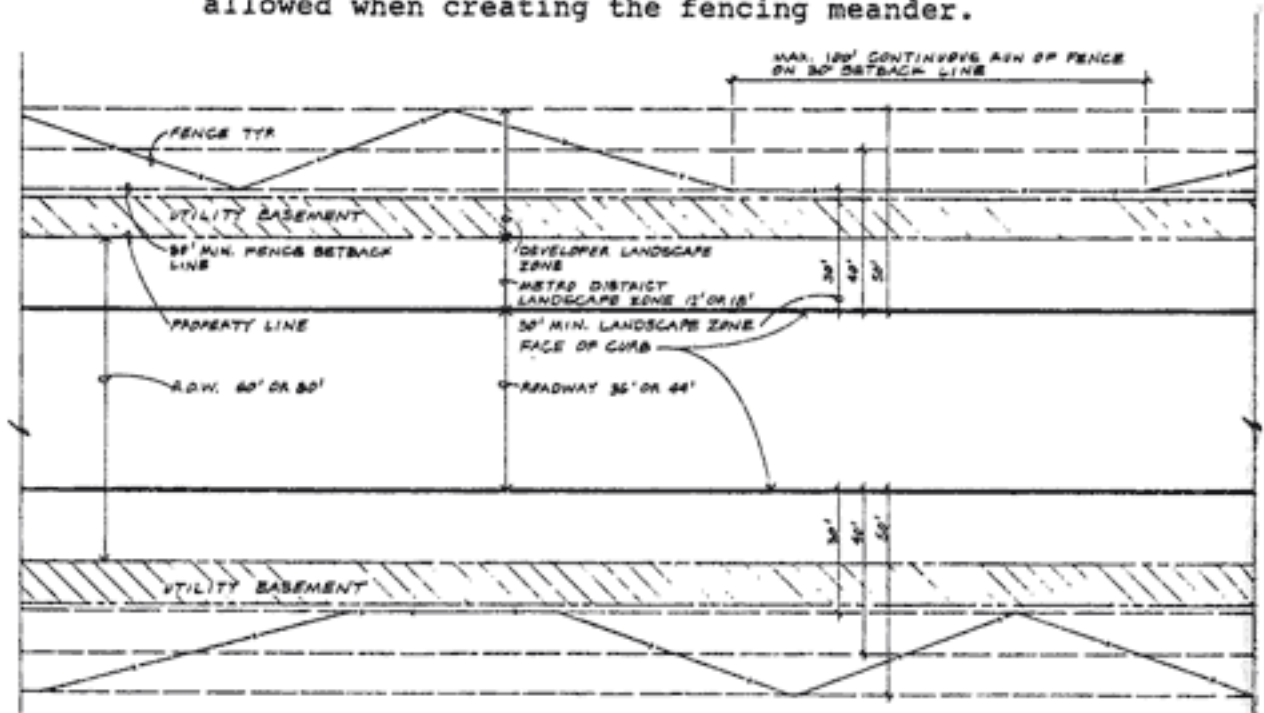
- Natural topography and native vegetation should be retained in Community Open Space Areas wherever possible. They serve as natural buffers between Planning Areas and should not be altered except in those cases where active recreational facilities, such as playing fields, are developed. The interface between Community Open Space areas and development areas should be a gradual one and not an abrupt delineation between open space and abutting properties. Similar to the landscape treatment at the edges of the golf course, an effort should be made to minimize any landscape differentiation between Community Open Space and adjacent properties.
- If fencing is to be built along the edge of community open space areas, it is recommended that the open-rail fence prototype which has been approved by the DRC be utilized. The desired visual effect from any fencing along the community open space edges should be that of transparency while establishing the transition between community and private open space.

11. Landscape Buffer Zone

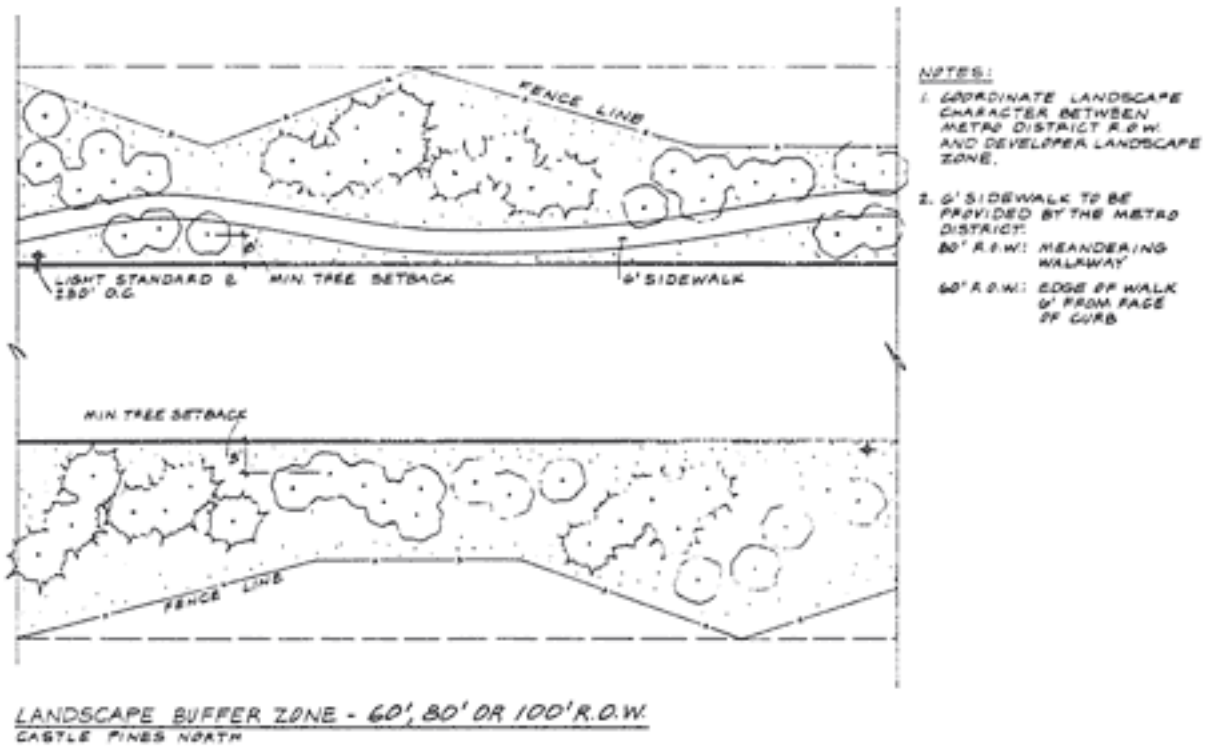
Planning Areas which front onto Castle Pines Parkway (100' R.O.W.) and/or onto Monarch Boulevard (80' R.O.W.) must provide a landscaped buffer zone along all frontage areas according to the Castle Pines North Development Guide. Additionally, a minimum fence setback of 30 feet from the face of the curb to the fenceline along the 100', 80' and 60' ROW's is required by the DRC. The landscape design concept developed and planted within the ROW by the Castle Pines North Metropolitan District should be continued into the privately owned landscape buffer zone and is the responsibility of the builder/developer.

In order to promote a meandering and visually interesting landscape buffer zone and fenceline along the roadways within Planning Areas, no more than 40% of the total length of fencing around any Planning Area may be located along the 30' minimum fenceline setback. The remaining 60% of the fence must be located further than 30' from the face of curb. It is recommended that 35% of the total length of fence have a setback between 30' to 40' and the remaining 25% of the total length of fence have a setback between 40' to 50'. Additionally, no more than 100' of fence may be on the 30' minimum fenceline setback in one stretch; a shift/meander of the fence must occur at this point in order to break up the regularity of a straight fenceline and in order to add a visually interesting element to the fence. No right angles are allowed when creating the fencing meander.

allowed when creating the fencing meander.



LANDSCAPE BUFFER ZONE - 60', 80' OR 100' R.O.W.
CASTLE PINES NORTH



NOTE: Utilities in Castle Pines North are, in most cases, located in the ROW rather than in the utility easement outside the ROW. The utilities along the roadways are located no further than six feet from the face of curb. Therefore, with the approval of the Castle Pines North Metropolitan District, planting may occur within the ten foot utility easement. Utilities should be located prior to planting in order to avoid conflicts.

12. Streetscape Design Guidelines

It is recommended that builders/developers and homeowners follow the Streetscape Design Guidelines described and shown below along the 50' ROW's or cul-de-sac roadways in Castle Pines North.

a. Lighting It is recommended that the overhead streetlighting fixtures be spaced at 150 foot intervals along the 50' ROW's and/or located at the end of a cul-de-sac turnaround and should alternate from one side of the street to the other. Coordination with IREA will ensure adequate power for streetlights at appropriate locations along roadways. Refer to the lighting section on page 49 for more information.

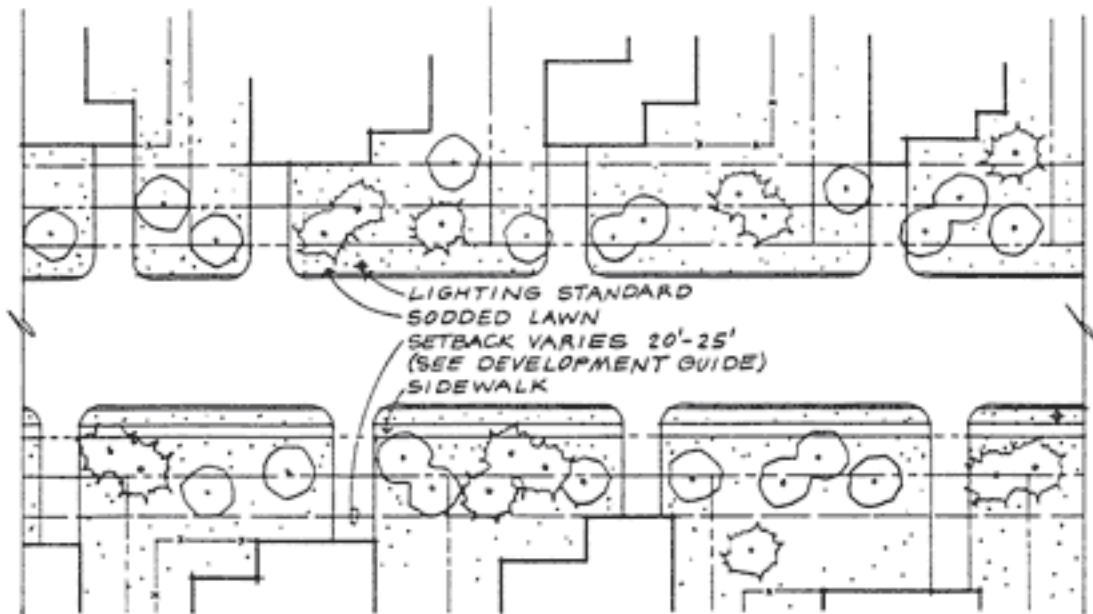
b. Sidewalks If sidewalks are to be built along the SOT ROW's or cul de sacs in Castle Pines North, it is recommended that they be separated from the street by a sodded planting median. On the 50' ROW, a 4' sidewalk is recommended on one side of the street only. Concrete is the recommended paving material for sidewalks in Castle Pines North. Depressed curbs for handicapped access are required at sidewalk! curb intersections.

c. Landscaping If street trees are to be planted in Castle Pines North, a minimum setback of 7' for deciduous trees and 10' for coniferous trees is required from the face of curb for purposes of winter snow removal along the roadways. The landscape character along the 50' ROW's and cul de sacs should be an informal mix of coniferous and deciduous trees which create a continuous "ribbon" of compatible landscape treatment between properties. A minimum of four to five trees is required in all front yards in Castle Pines North unless otherwise approved by the DRC.

d. Building Setback/Front Yard Fencing Front yard building setbacks vary from 20'-25' from the property line depending upon development standards for a particular planning area. Refer to the Castle Pines North Development Guide for specific setback requirements. If front yard fencing is to be built, it is required that the open rail fence prototype be utilized. Refer to the fencing guidelines on page 42 for more information. Front yard fencing is generally not recommended in Castle Pines North.

13. Exterior Service & Storage Areas

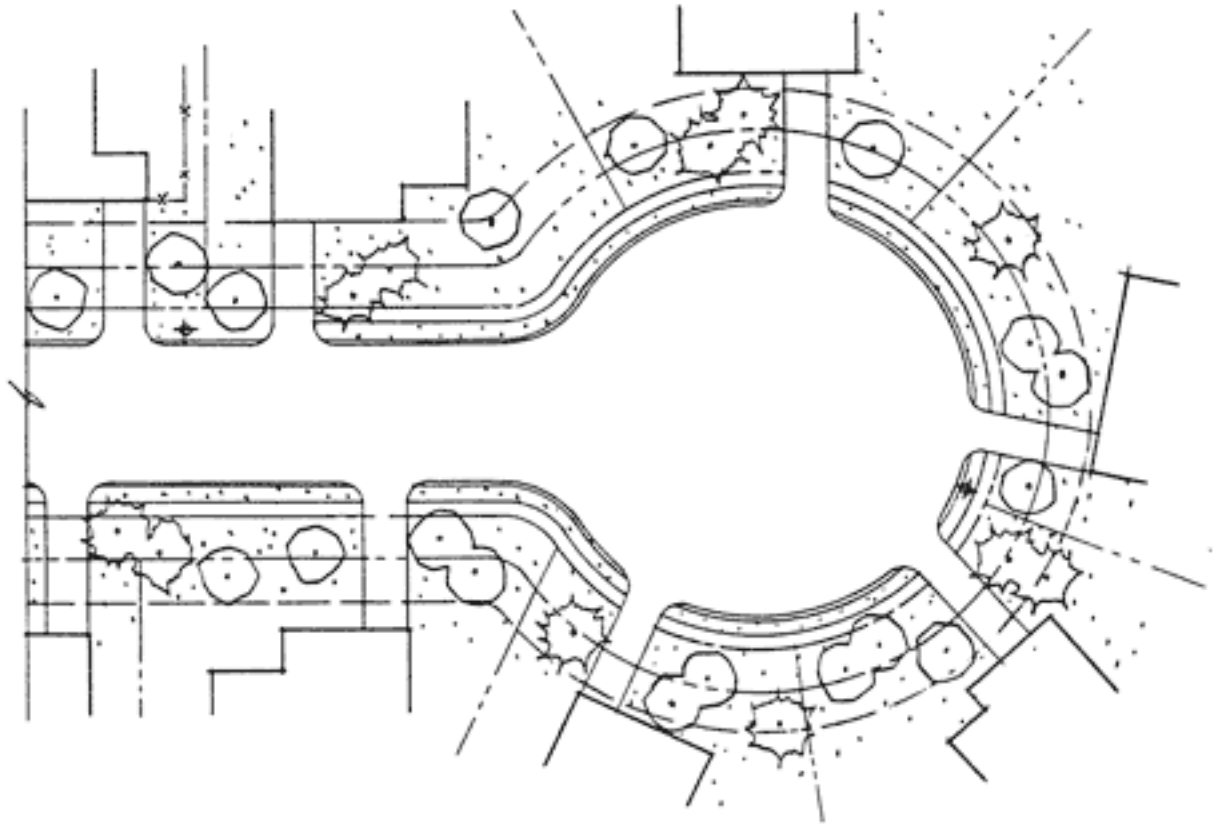
Exterior service and storage areas shall be completely screened and located as inconspicuously as possible. Screening elements shall be attractively designed and shall be compatible with the materials and integral with the forms of the residence(s) or related structures.



TREE PLANTING:

- PROVIDE 4-5 TREES PER LOT
- PROVIDE CONTINUITY BETWEEN PLANTING IN R.O.W. AND PRIVATE LOTS

MODIFIED LOCAL ROAD STREETSCAPE - 50' R.O.W.
CASTLE PINES NORTH



CUL-DE-SAC - 50' R.O.W.
CASTLE PINES NORTH

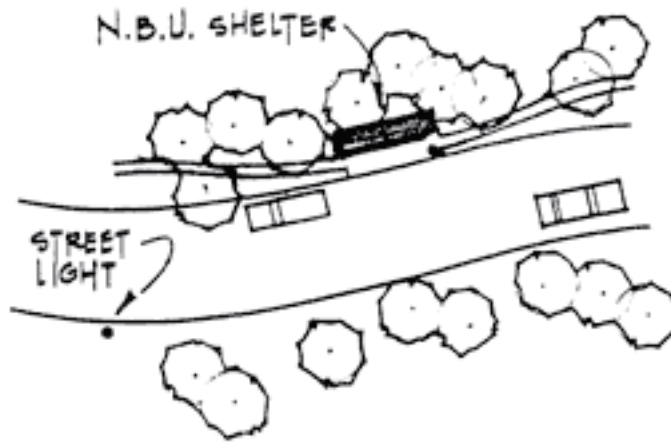
14. Dog Runs

Dog runs or pet enclosures shall be installed only after DRC approval is obtained. Materials for such enclosures should be compatible with the surrounding development in Castle Pines North. Dog runs should be located within yards in such a way that they are not eyesores to neighbors or, in the case of yards which back onto the golf course or onto a community open space, to golfers or those people utilizing the open space areas.

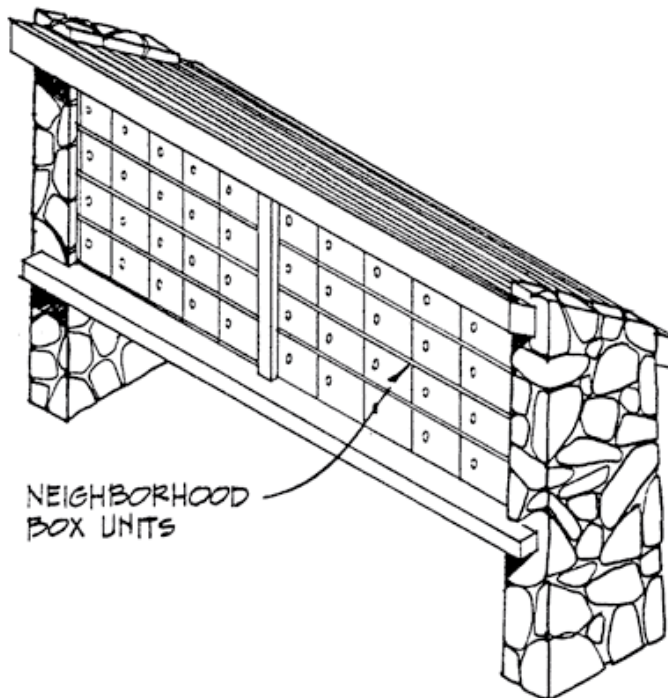
15. Mailboxes

Mail deliveries in the Castle Pines North Community will be aluminum Neighborhood Mailbox Units (N.B.U.'s) which are supplied and owned by the U.S. Postal Service. No individual mailboxes will be permitted along the roads of Castle Pines North. Clustering of N.B.U.'s along the roadside is encouraged where feasible. Siting of N.B.U.'s should be sensitive in order to minimize the impacts to adjacent land uses and to the overall streetscape. Location of N.B.U.'s will be jointly determined by the Castle Rock Postmaster and the Applicant during

planning. Installation of the N.B.U.'s is the responsibility of the Applicant, but N.B.U. maintenance is the responsibility of the U.S. Postal Service. Shelters designed and built around N.B.U.'s are recommended. N.B.U. shelters should be compatible with adjacent development in materials and design. Shown below is an example of a recommended N.B.U. shelter and a typical siting of clustered N.B.U.'s.



- LOCATE N.B.U. SHELTER ADJACENT TO SIDEWALK, STREET LIGHT, AND PLANTING.



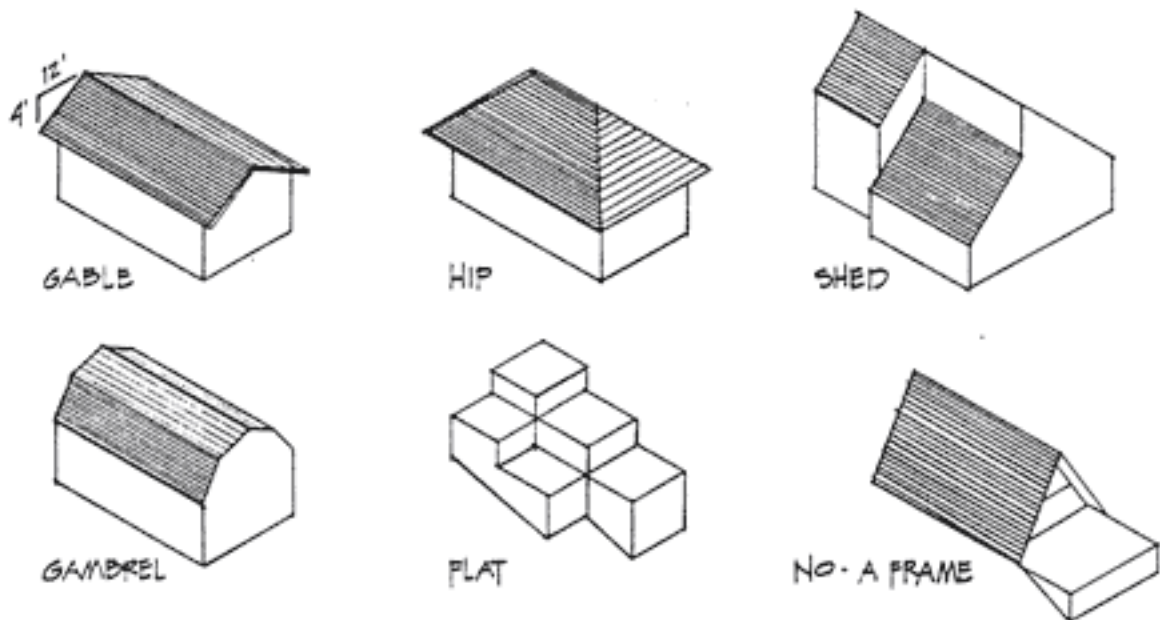
TYPICAL MAILBOX SHELTERS

B. Architectural Design Guidelines

The following Architectural Design Guidelines apply to all residential development projects and/or community recreational facilities within Castle Pines North.

1. Roof Design

- Roofs are very important to the overall integration and compatibility of different developments within Castle Pines North. Their design must be given careful consideration as they will be highly visible from streets, other buildings and most neighboring sites. Allowable roof designs are: gable roofs, hip roofs, gambrel (mansard) roofs, shed roofs and flat roofs.



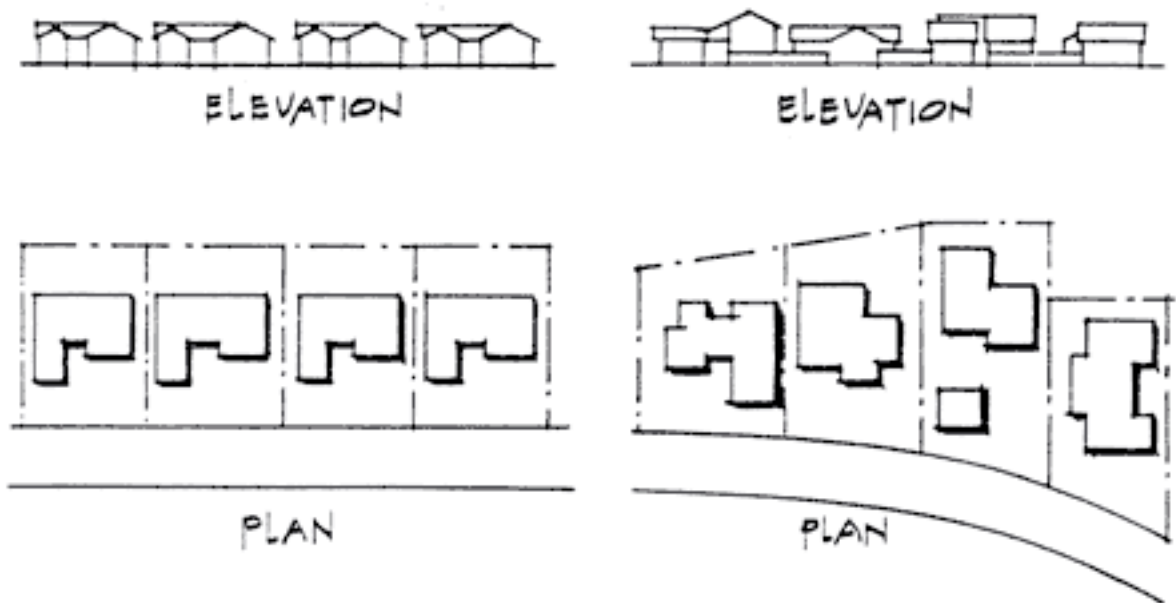
- The choice of roof form should be greatly influenced by the angle and height from which the building will be viewed. Flat roofed buildings would only be considered appropriate on upper hillsides where viewed from below. The view of flat roofs from above is often very unattractive unless handled with particular care.

- The use of major rooftop elements such as dormers, chimneys or skylights should enhance the roof form and be an integral part of it. Special attention should be given to the design and placement of mechanical systems (i.e. vents, etc.) on roofs of residences which will be viewed from above. Exposed metal flashing vents and flues should be painted to match the color of roofing materials.

- The minimum roof pitch allowed on a major roof form is 4:12. The pitch of lesser elements such as porches, dormers, etc. may be lower if consistent with the architectural design. Domes and A-frame buildings are considered inappropriate.

2. Building Design and Groupings

When multiple structures are planned as part of a single design project, they shall be designed in a unified architectural and spatial manner resulting in integration of structures into related groupings. Single-family detached residences within a single design project, however, should not appear as row housing. In order to avoid this, variations should be provided, wherever possible, in building elevations as well as building setbacks from the street and sideyards.



AVOID REPETITIOUS DESIGN
AND THE APPEARANCE OF
ROW HOUSES

VARY BUILDING
SETBACKS, SIDEYARDS,
ELEVATIONS AND
FLOOR PLANS.

NOT THIS:

THIS:

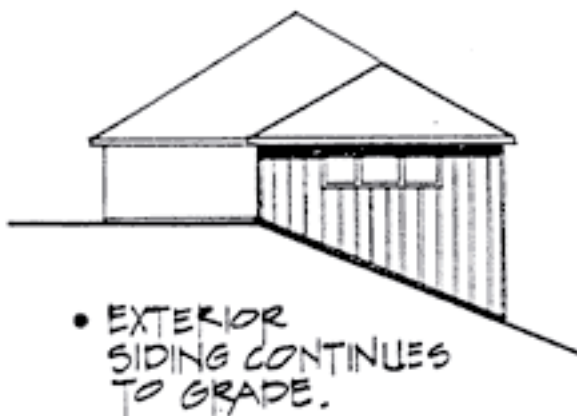
3. Material Recommendations

Certain building materials are more desirable for use in Castle Pines North and they have been identified below. Where feasible, the natural color and texture of the materials should be expressed.

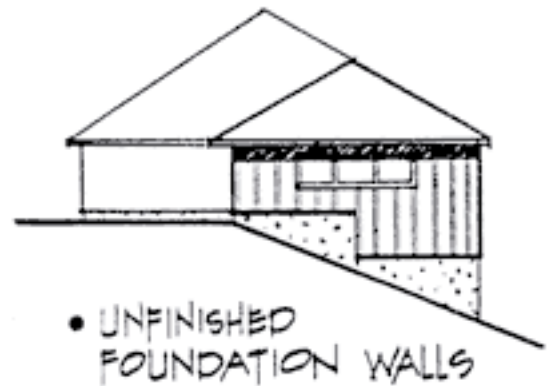
- Roofs - Within a residential development, all roofs shall be built using the same roofing materials in order to achieve an overall design continuity, Suggested roofing materials for the Castle Pines North Community include cedar and other wood shake shingles, fired tile, and slate shingles. The use of metal roofs is acceptable; however, in no instance will metal

roofs which reflect direct sunlight onto an adjacent property be permitted. If metal roofs are used, they shall be surfaced with a low-gloss finish or capable of weathering to a dull finish. Metal roofs shall generally have a standing seam in order to provide some relief to the roof surface and be of a heavy guage. Asphalt, polyurethane and corrugated aluminium are unacceptable roofing materials in Castle Pines North. (SEE APPENDIX "E")

- Exterior Walls - All exterior wall materials utilized should be compatible with adjacent residences/buildings. Siding materials must be continued down to within 6" of finished grade on any elevation, thereby eliminating large areas of unfinished foundation walls.

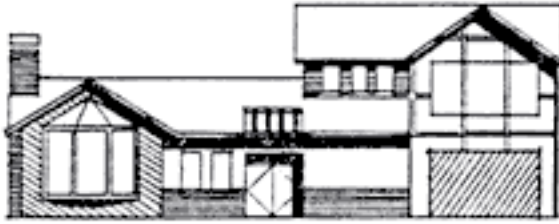


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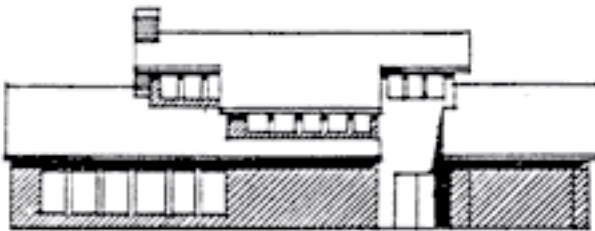
NOT THIS=

Suggested exterior wall materials are redwood siding, cedar siding, other types of wood siding, stucco, brick and stone. Horizontal, vertical and diagonal patterns are acceptable siding patterns. Incorporating more than one material on exterior walls may be desired, but special care should be taken so that materials do not detract from the building's overall design and form. Masonry veneers shall be consistent on all elevations.



- TOO MANY DIFFERENT MATERIALS OR TEXTURES CREATE CONFUSION AND POOR OVERALL DESIGN.

NOT THIS:



- ORGANIZATION OF MATERIALS, ROOF, WALLS AND OPENINGS, CREATING A UNIFIED WHOLE.

THIS:

- Colors - Exterior wall colors should be compatible with the site and with surrounding buildings. Natural colors (i.e. earth tones) should be utilized. Primary colors or other bright colors should be used only as accents and then only sparingly.

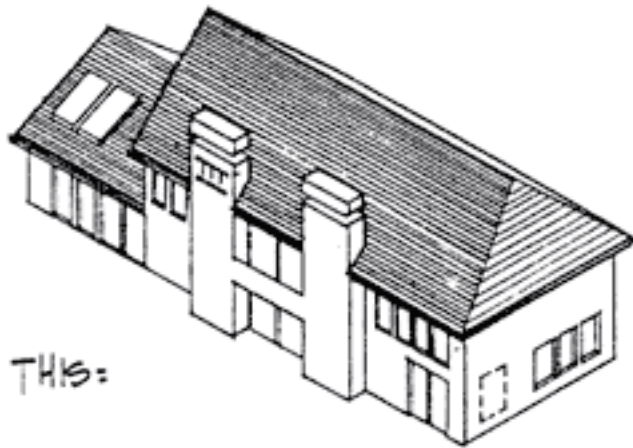
4. Inappropriate Materials

Materials chosen must be appropriate for the scale of a building, compatible with its location within Castle Pines North and expressive of the character and images of the development. The use of the following materials may cause problems in achieving the desired design quality:

- Metal as a building skin
- Multi-colored masonry
- Painted concrete
- Mirrored glass or very dark glass
- Man-made or synthetic stone or rock
- Exposed cinder block

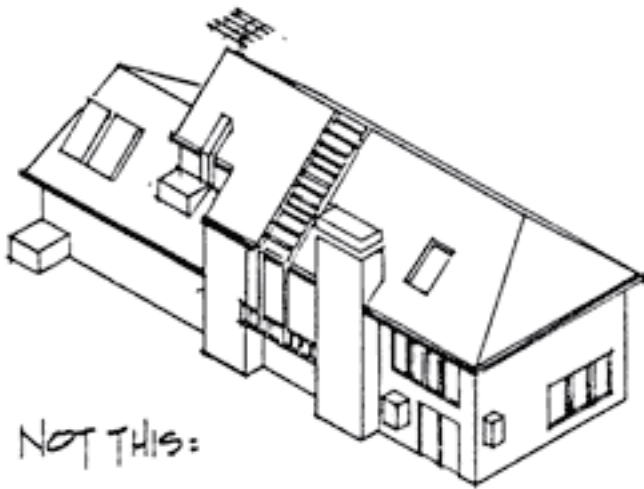
5. Surface Mounted Equipment

The location and finish treatment of items mounted on the exterior surfaces of the building(s) should be carefully planned and detailed. Such items would include skylights, solar panels, vents, mechanical equipment, access ladders, electric and gas meters, etc. In no case should they give the appearance of being simply mounted on the exterior surface of the building(s) with no relationship to the surrounding elements. The location of these items shall be indicated on all drawings submitted during the Preliminary Design Review and the Construction Document Review phases of the Castle Pines North Design Review Process.



THIS:

- ORGANIZE VENTS, HVAC, MECHANICAL AND SURFACE MOUNTED EQUIPMENT AS INTEGRAL ARCHITECTURAL ELEMENTS.



NOT THIS:

- AVOID SURFACE MOUNTED OR RANDOMLY PLACED EQUIPMENT.

6. Mechanical-Equipment

Where mechanical or service equipment is located on the roof, it shall be grouped onto concentrated areas. If it is not possible to install this equipment in a well, it shall be behind a screen wall or in an enclosure which is an integral part of the building design. Metal flashing, trim, flues and any other exposed roof top mechanical equipment should be anodized, painted or capable of weathering to be non-reflective. The effect of such screening on roofs shall not impact roof designs/forms in a significant way. The materials used on such screens or enclosures shall be the same quality as, and compatible with, the materials of the building.

7. Antennas

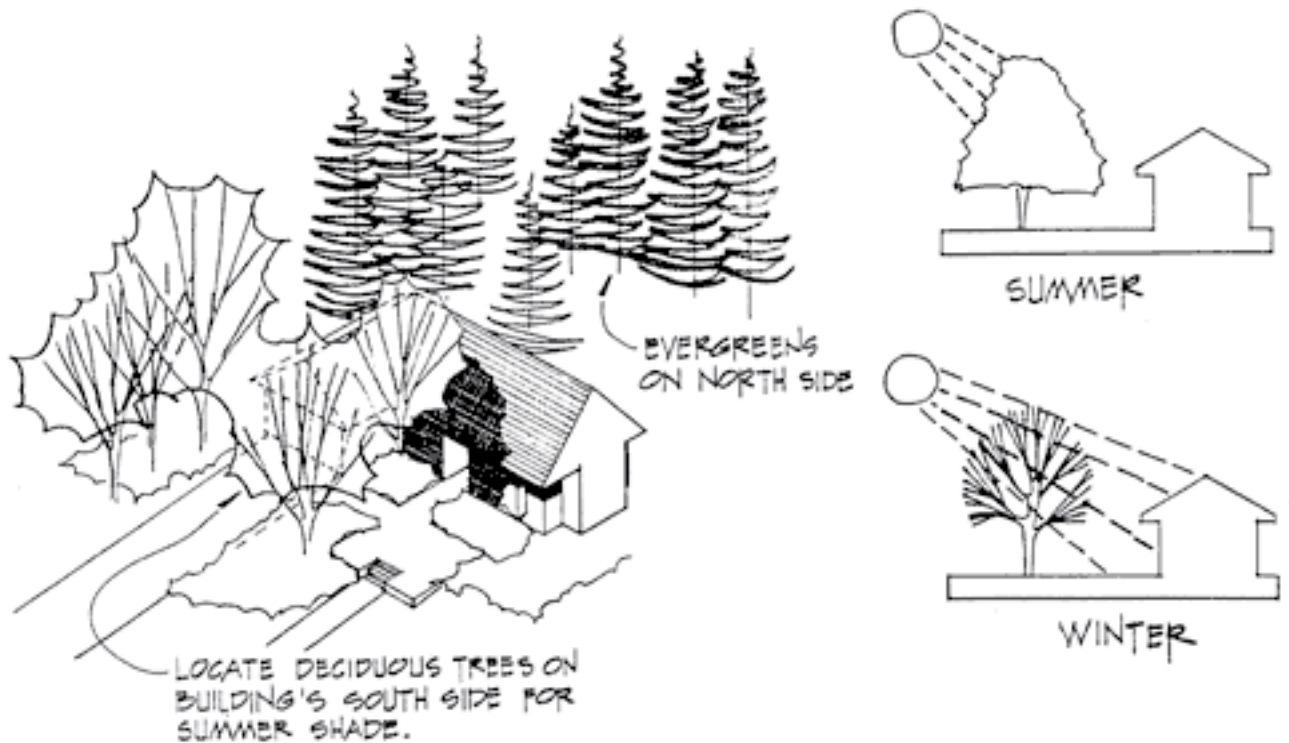
No type of antennas and similar structures (i.e., satellite dish antennas, T.V. and ham radio antennas, etc.) shall be permitted unless totally screened from all angles of view by

fences, berms or landscaping or disguised by other techniques as might be approved and adopted by the DRC. (SEE APPENDIX "F")

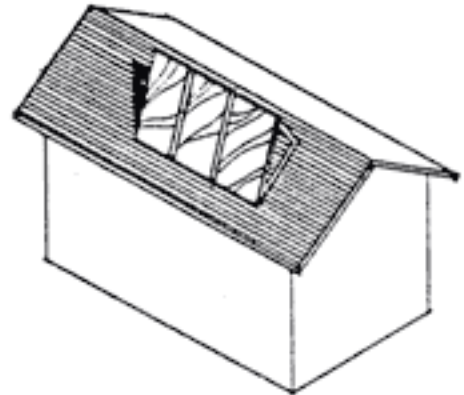
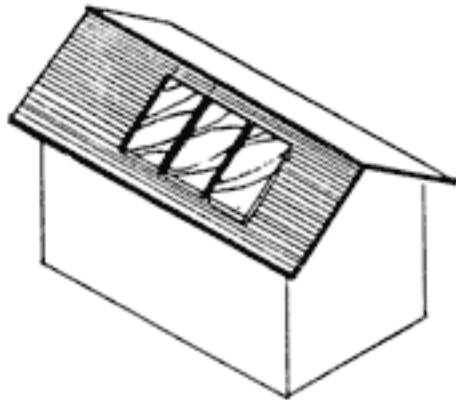
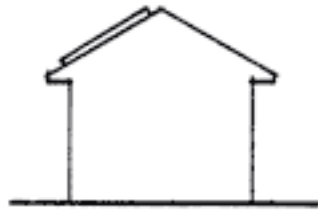
8. Energy Conservation

- Energy conservation techniques are encouraged when appropriate in Castle Pines North. Site planning and landscape design for energy conservation are both encouraged. Planting of deciduous trees on the south side of a residence provides shading in the summer months and allows the sun to penetrate the residence in the winter months. Evergreens planted on the northwestern side of a residence provide a wind buffer from northwesterly winter winds.

- Passive and active solar energy systems integrated into the architecture of a residence are also encouraged. Solar collection panels should blend into overall architectural massing and roof form designs. When solar collectors for hot water heating are placed on the roof of a building, they should be racked at the same pitch as the roof, even though the slope of the roof is not "optimal". The small increase in panel size that may be required to increase the efficiency of the collector array is preferable to the visual conflicts of different angles and slopes on the roof. Also, solar panels should not protrude above ridge lines of roofs.



SET SOLAR PANELS PARALLEL
TO ROOF PITCH.

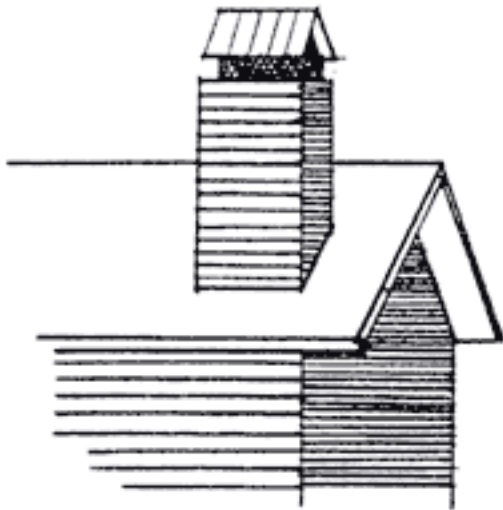


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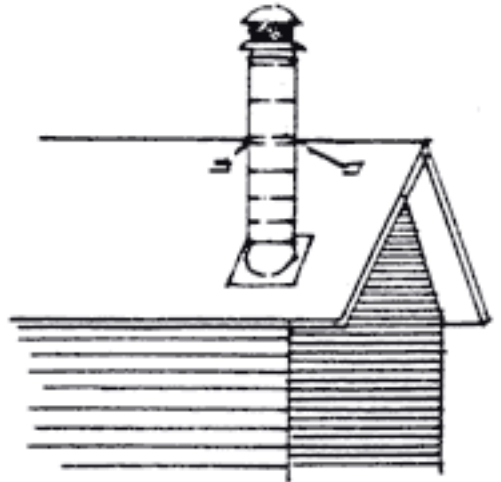
NOT THIS:

9. Chimneys

Chimneys are usually very strong roof elements. Careful choice of proportion and material should give them a substantial and stable appearance. The use of prefab fireplaces and flues is economically sound. However, they need not have the stovepipe appearance. Enclosing the flue in a masonry or wood chimney with substantial proportions will solve the problem. The use of fire-proof enclosures is prudent.



THIS:



NOT THIS:



THIS:



NOT THIS:

10. Exterior Residential Lighting

Exterior residential lighting in Castle Pines North shall be understated. Lighting shall be used only to identify pedestrian walkways and/or entrances to residences. Indirect lighting

shall be used wherever possible. Exterior lighting shall not be installed where its direct source is visible from neighboring properties, or where it produces excessive glare. The use of other than white exterior lights shall be prohibited except for colored lighting used as holiday decoration.

C. Landscape Design Guidelines

1. Design Intent

- a. To unify a variety of buildings and architectural styles within a strong landscape matrix and, to the greatest extent possible, utilize natural land forms and plant materials which are native to Castle Pines North and the surrounding region.
- b. To achieve an overall landscape network including privately-owned landscaped areas, Rights-of-Way (R.O.W.'s), community open space, the Castle Pines North golf course, and the important interfaces between the golf course edges and adjacent development.
- c. To screen parking areas from view to the greatest extent possible while maintaining visual access and orientation to the facilities served.
- d. To be sensitive to the varying site characteristics within castle Pines North in terms of landscape design.

2. Landscape Design Elements and Requirements

- a. Landscape Design Theme The predominant landscape design theme in Castle Pines North shall be that of natural and informal groupings of introduced plant materials. Introduced plant materials will supplement the already existing plant community. In terms of planting guidelines, a simple plant palette is suggested. Large masses of similar plant materials are preferable to multiple varieties planted together in small groupings. It is suggested that evergreen masses act as contrasts to deciduous masses. Deciduous trees rather than coniferous trees should be the more dominant type of tree planted in Castle Pines North.



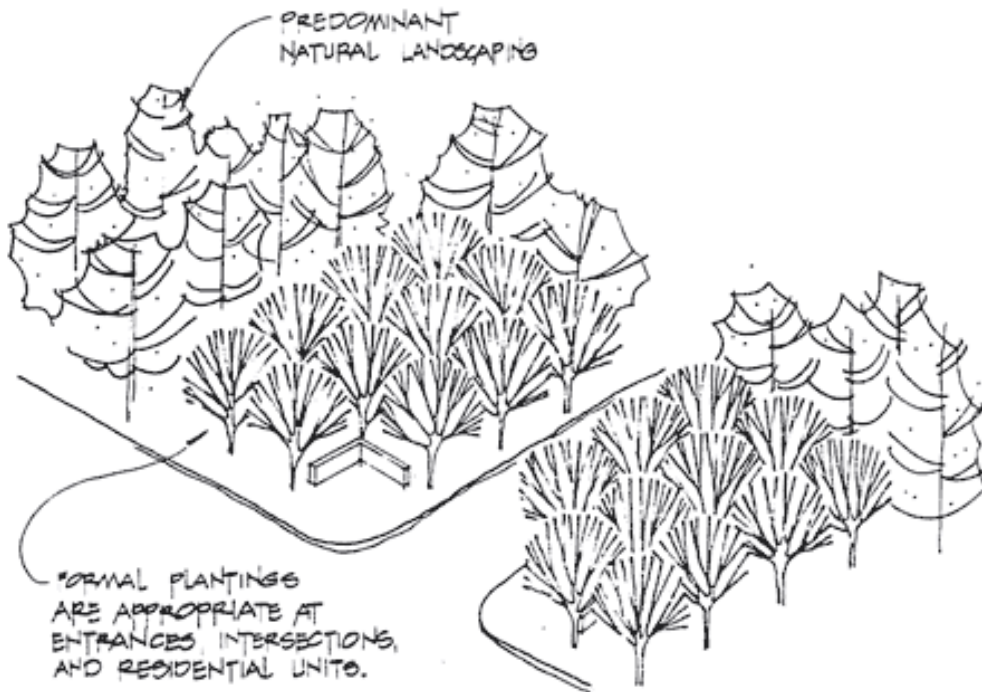
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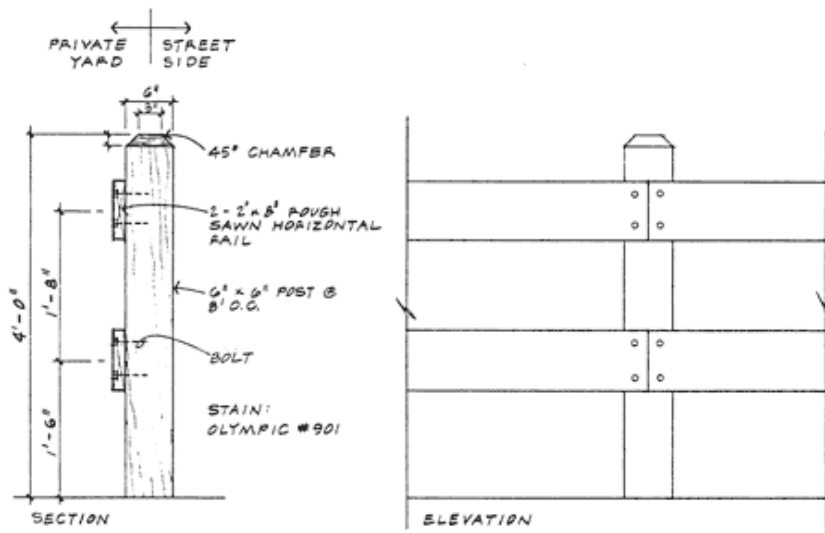
NOT THIS:

The use of large expanses of formal looking lawns is generally discouraged in residential yards. Instead, native ground covers and draught tolerant turf mixes are suggested for yard coverage wherever possible.

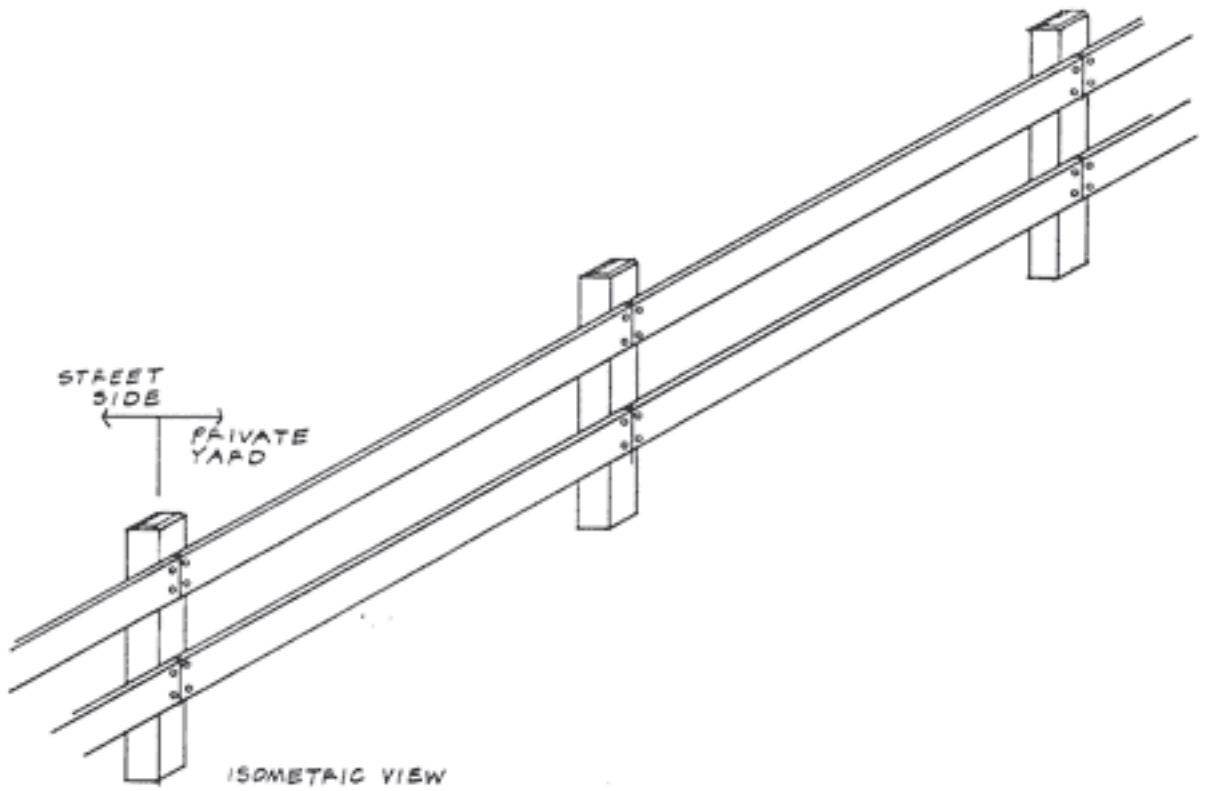
Also desirable in certain appropriate locations will be a more formal, maintained and manicured landscape look. Such locations in Castle Pines North include but are not limited to: 1) road intersections; 2) entry points into neighborhoods; and 3) residential courtyards and gardens. In such locations, geometric plantings, evenly spaced rows of trees, formal looking lawns and other formal landscape patterns would be considered as appropriate landscape treatments.



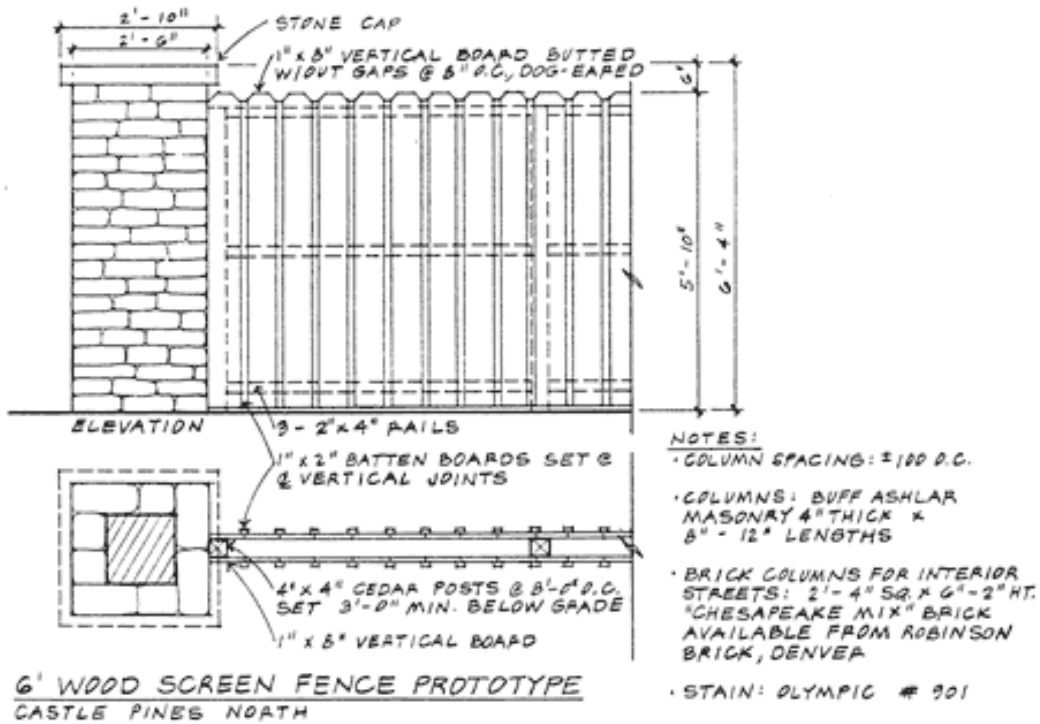
b. Fences All fencing built around the perimeter of a Planning Area, fronting onto a R.O.W., an open space or golf course edges shall be consistent with the two (2) fence prototypes adopted by the DRC for Castle Pines North as shown below.



OPEN RAIL FENCE PROTOTYPE
CASTLE PINES NORTH



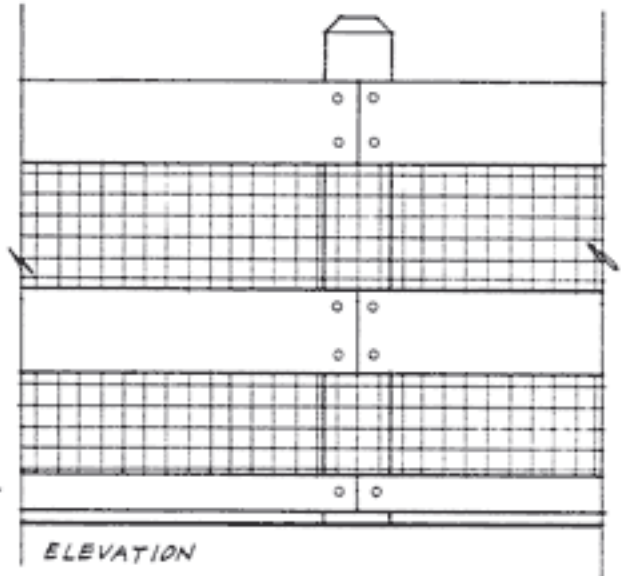
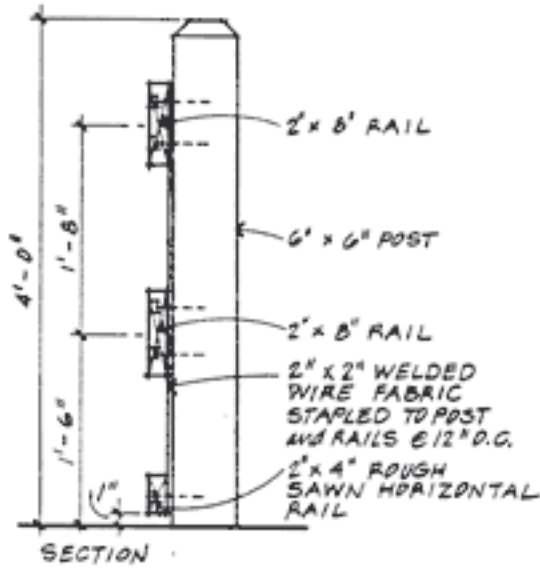
OPEN RAIL FENCE PROTOTYPE
CASTLE PINES NORTH



Fences built along golf course edges must be the open-rail fence prototype. It is also recommended that fences built along community open space edges be the open-rail fence prototype. Wherever possible, the open-rail fence prototype is preferable to the six (6) foot wood screen fence prototype because it provides a transparent look while creating a sense of enclosure at the same time. If utilized, the six (6) foot wood screen fence should be built in conjunction with a landscaping scheme which softens the solid appearance of the fence.

All other fences such as lot line fences between residences, privacy fencing, patio enclosures, trash receptacle screens, etc. shall be of a type, color, finish, etc. compatible with the fence prototypes as determined by the DRC. Chain-link fencing materials will not be permitted for fencing of yards in Castle Pines North. For the purposes of enclosing pets, wire meshing will be allowed in conjunction with the open rail fence prototype only as approved by the DRC and as shown in the sketch below.

← PRIVATE YARD STREET SIDE →



MODIFIED OPEN RAIL FENCE
 CASTLE PINES NORTH

c. Signage These sign guidelines are intended to create a uniformity of overall image in Castle Pines North, while allowing builders the freedom to add individuality. This is not a legal document and does not replace or supercede the Castle Pines North Development Guide.

- **Applicable Codes:** All signage proposed for use/installation in Castle Pines North must first be approved by the Design Review Committee. The form provided at the back of the Design Guidelines must be completed and submitted for review and approval by the Design Review Committee. Once approved by the DRC, a sign permit must then be obtained from Douglas County prior to installation.

Design of all signs must comply with the regulations set forth in the Castle Pines North Development Guide. A list of prohibited sign types and materials is also contained in that document.

All signage within the streetscape including permanent neighborhood entry signs will conform to the prototypes or design elements adopted by the DRC for Castle Pines North.

- **General Sign Design Responsibilities:** The DRC has approved and adopted a series of standard designs for the following sign types which are generally the responsibility of the Castle Pines North Metropolitan District to install:

- Castle Pines North major entries - Public facilities entries - Project directionals - street signs - Regulatory signs

Builders will be required to use standard and approved designs if they require the use of any signs which may fall within the five categories above.

For those signs that builders will have responsibility, the DRC has approved and adopted this package of design guidelines. When applied to separate builder projects, these guidelines will provide for individuality within a consistent theme.

Builders are responsible for the following sign types:

- Permanent neighborhood entry
- All temporary sales and project signage
 - a) Temporary neighborhood entry sign
 - b) Sales office entry sign
 - c) Temporary project directionals
 - d) Model unit numbering or labeling

- **Design Guidelines for Builders/Permanent Neighborhood Entry Sign**

- **Number Allowed:** One entrance feature (with sign or signs) per major thoroughfare intersection or primary entrance into builder project.

- **Allowable Signage** Each entrance feature may have the following: One sign plaque of

twenty (20) square feet or less. Plaque should be square or rectilinear in format, to be mounted on a stone wall backdrop. Sign size is calculated by multiplying the height by the width, at the perimeter of the plaque. Refer to sign measurement guidelines in the Castle Pines North Development Guide for example of how to measure. Plaques must always be used as a backdrop for logo and lettering. Therefore, individual cut-out letters mounted directly to stone are generally discouraged due to difficult legibility. The DRC may want to approve special cases if the designer can show he has addressed the obvious problems.

- Lettering and Logo Application: Sign plaques may be decorated with painted or individually cut-out lettering and logo. Maximum height the first letter or logo is 18", all other letters may not exceed 14". Letters or logo may extend beyond the plaque.

- Materials Colors and Finishes Sign

plaques must be fabricated from metal; sheet metal, plate metal, alucobond, etc.; 18 gauge or thicker, with a minimum 1/2" return, maximum 3" return. Plaques must be stud-mounted off the stone wall or pillar. See specifications at the DRC office for detail of installation.

Plaques must be finished with permanent and fade-resistant paint, anodization or baked enamel. Dark hues are recommended to allow for maximum legibility of letters or graphics. Multi-colored backgrounds and textured finishes are not prohibited, however, will require special consideration by the DRC. Color finish may be gloss, matte or semi-gloss.

If the lettering and logo graphics are to be cut-outs, they may be fabricated from stainless steel, sheet metal, aluminum or copper. These materials may be allowed to weather naturally, or may be varnished or painted. If the lettering and logo graphics are to be painted directly on the surface of the plaque, the paint used must be permanent and fade-resistant and can be gloss, matte or semi-gloss.

A light or contrasting color should be used so as to maximize the legibility on a dark-hued background plaque. Letter and logo color changes should be limited to two. Any more than two will require special consideration by the DRC. Complicated illustrations or graphics which require many colors are discouraged.

- Lighting Builder project entries will have controlled and standardized lighting choices. All residential sign lighting must be high pressure sodium or incandescent which falls within the warm white-to-yellow spectrum of light color. All fixtures illuminating signage must be concealed.

Signs may be flood-lit from ground spots which limit the light to the sign-face only, avoiding light spillover onto adjacent properties or interference with vehicular traffic.

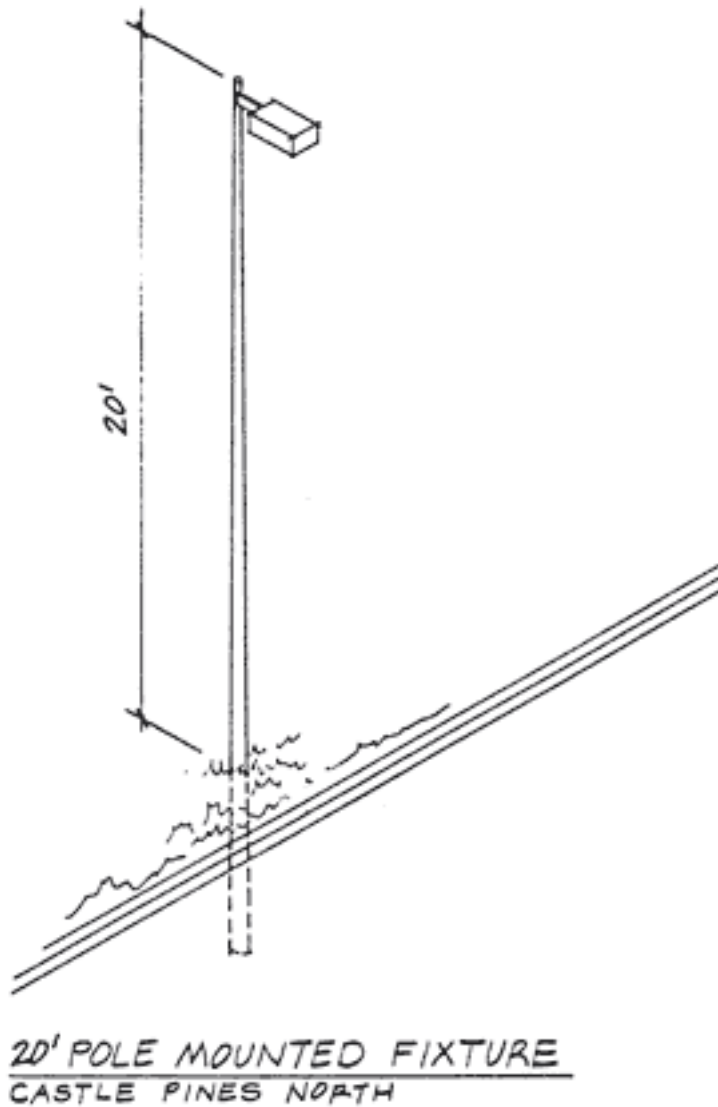
Signs may be also lit from a custom metal-fabricated hood-light which illuminates the sign from the top down.

- Installation Plaques may be mounted flush to the rock wall or stud-mounted with a spacer allowing 1/2" to 2" clearance behind the sign.

o Design Guidelines for Builders/Temporary

Sales and Project Signs Temporary sales and project signs must be constructed within the following parameters:

- Project neighborhood entry sign with project information: 20 square feet, limit one per each side of property, four maximum.
- Sales office entry sign: sixteen square feet, limit one.
- Temporary internal project directionals: must match project directional sign (refer to specifications at the DRC office for construction details), single faced, limit two per major intersection.
- Model unit numbering or labeling: three square feet, limit one per unit entry.
- All temporary signs must be painted with those colors specified by the DRC. Check with them for the approved colors.
- All temporary signs up to three square feet in size shall be mounted on a 4" x 4" cedar post painted dark green (PMS 560C) Maximum height off ground is 3'-0" to top of sign.
- All temporary signs larger than three square feet may use two 4" to 6" square cedar posts for installation. Posts should be painted the DRC approved colors and mounted on the back side of a single-faced sign, flush with the outside edges of the plywood. In the case of a double-faced sign, posts should be sandwiched between the two sign faces. Maximum height off ground is 6'-0" to top of sign poles.



o Grand-opening, events-related signs may be banners or flags which may remain on-site only for six weeks before and two weeks after the event. Size is specified in the Development Guide. Prohibited are fluorescent colors, signs mounted on vehicles or detachable trailers, flashing lights or moving parts aside from wind-driven fabric type banners or flags. Plastic flags on strings may not be used.

o Individual "for sale" realtor signs may be used at the standard real-estate sign size (24" x 36") at each lot or home.

d. Lighting: In order to maintain design continuity, it is required that overhead streetlighting and parking area lighting be consistent with the lighting prototypes approved by the DRC and by the Intermountain Rural

Electric Association (IREA) for use in Castle Pines North as shown below:

Prototypical Street Lighting and Parking Lot Lighting

Light Pole

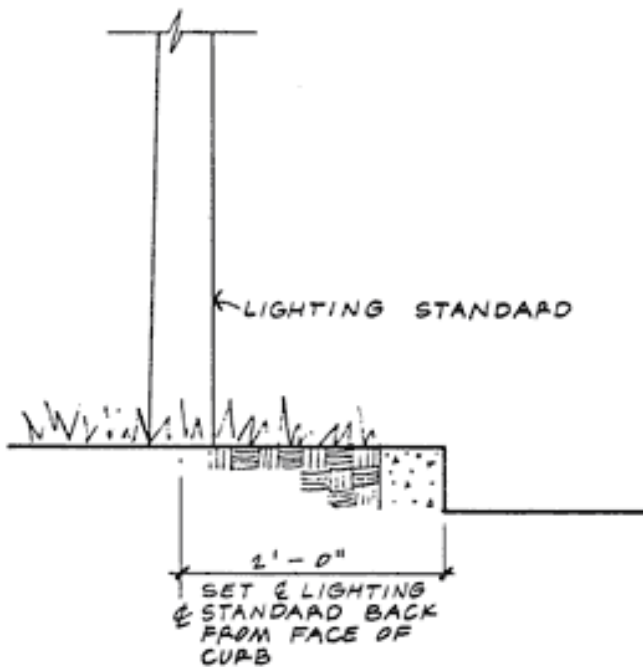
- Height: 23' pole height 20' mounted height
- Finish: Black - smooth finished fiberglass
- Acceptable Brands: Whatley, Shakespeare or approved other

Light Fixtures

e Style: Decorative Modern Street Light, rectangular in shape 16-5/8" x 19-3/4" x 10"

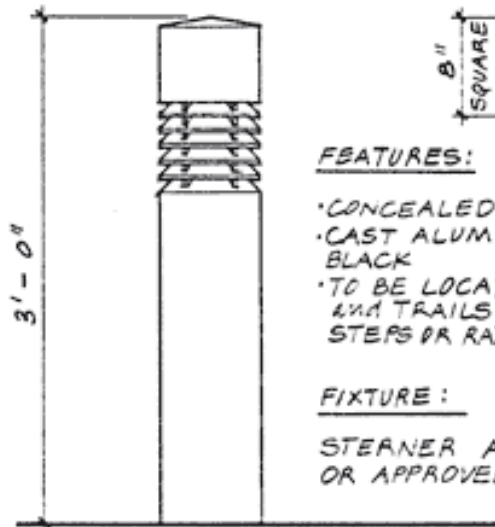
- Mounting: 8" mounting arm; mounted onto fiberglass pole
- Light Source: High pressure sodium, 150 watts
- Acceptable Brands: McGrawEdison or approved other

Spacing guidelines for lighting fixtures along the local roadways (50' ROW) and cul-de-sacs are described in the Streetscape Design Guidelines on page 27. Installation of streetlights along other ROW's is the responsibility of the Castle Pines North Metropolitan District and, therefore, is not described herein. The lighting standard setback from the face of curb is 2'-0" as shown on the following page:



Pedestrian level bollard lighting along roadways, walkways, driveways, parking areas, etc. is also subject to approval by the DRC but does not require prior approval by IREA. An acceptable bollard lighting fixture is shown in the sketch below.

LIGHTING STA
CASTLE PINES N



FEATURES:

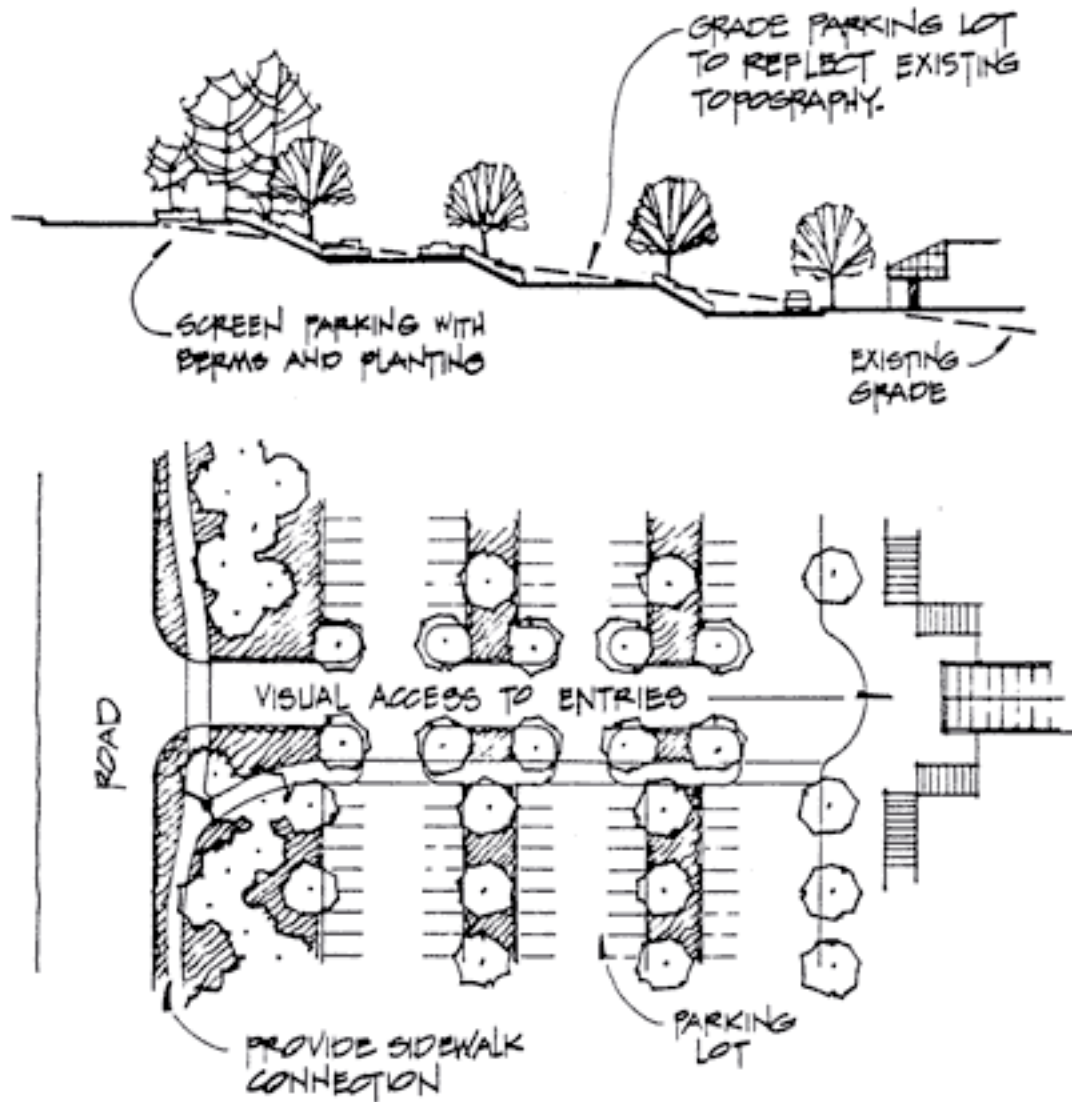
- CONCEALED LIGHT SOURCE
- CAST ALUMINUM, PAINTED BLACK
- TO BE LOCATED ALONG WALKS AND TRAILS, @ INTERSECTIONS, STEPS OR RAMPS

FIXTURE:

STEARNER AS 36"-G-CL-N-S 120, OR APPROVED EQUAL

BOLLARD LIGHT
CASTLE PINES NORTH

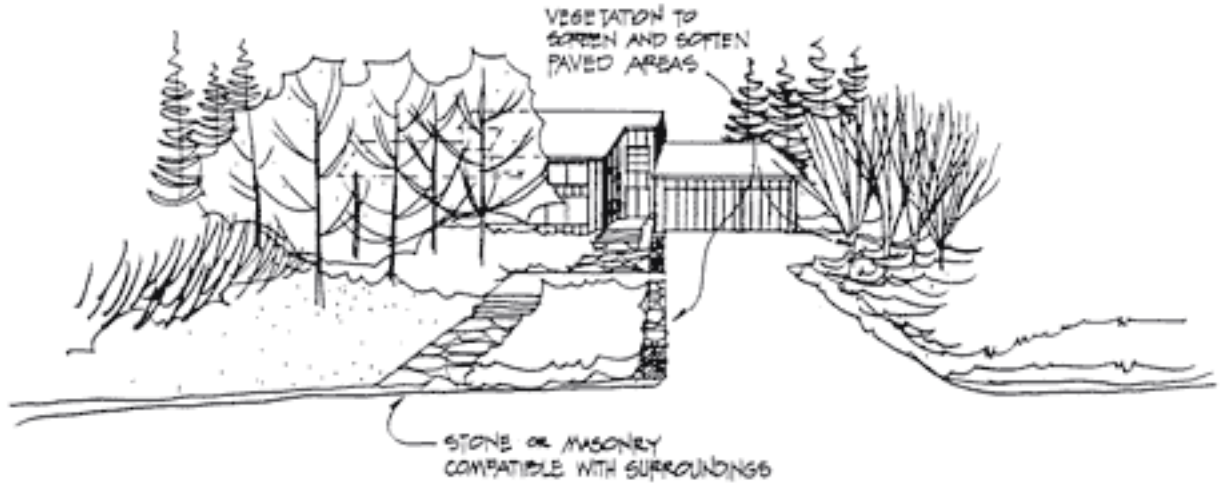
e. Parking Lots: Parking lots are to be landscaped in order to relieve large expanses of asphalt and to screen parked cars from view wherever possible. Any service area located in a parking lot should also be screened. Berming is a suggested method of screening parking lots. Suggested plant materials for parking area plantings are provided in the "Plant Materials List" in subsection 3 of the Landscape Design Guidelines.



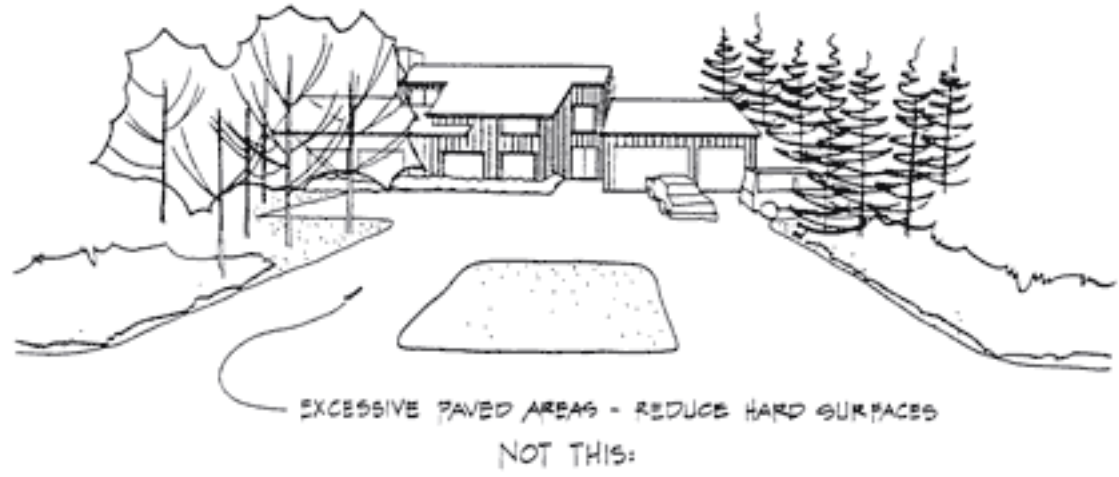
f. Grading/Drainage: Natural drainage patterns should be respected wherever possible. The use of berms is suggested only if continuous expanses of landforms are created which look natural as opposed to looking man-made.

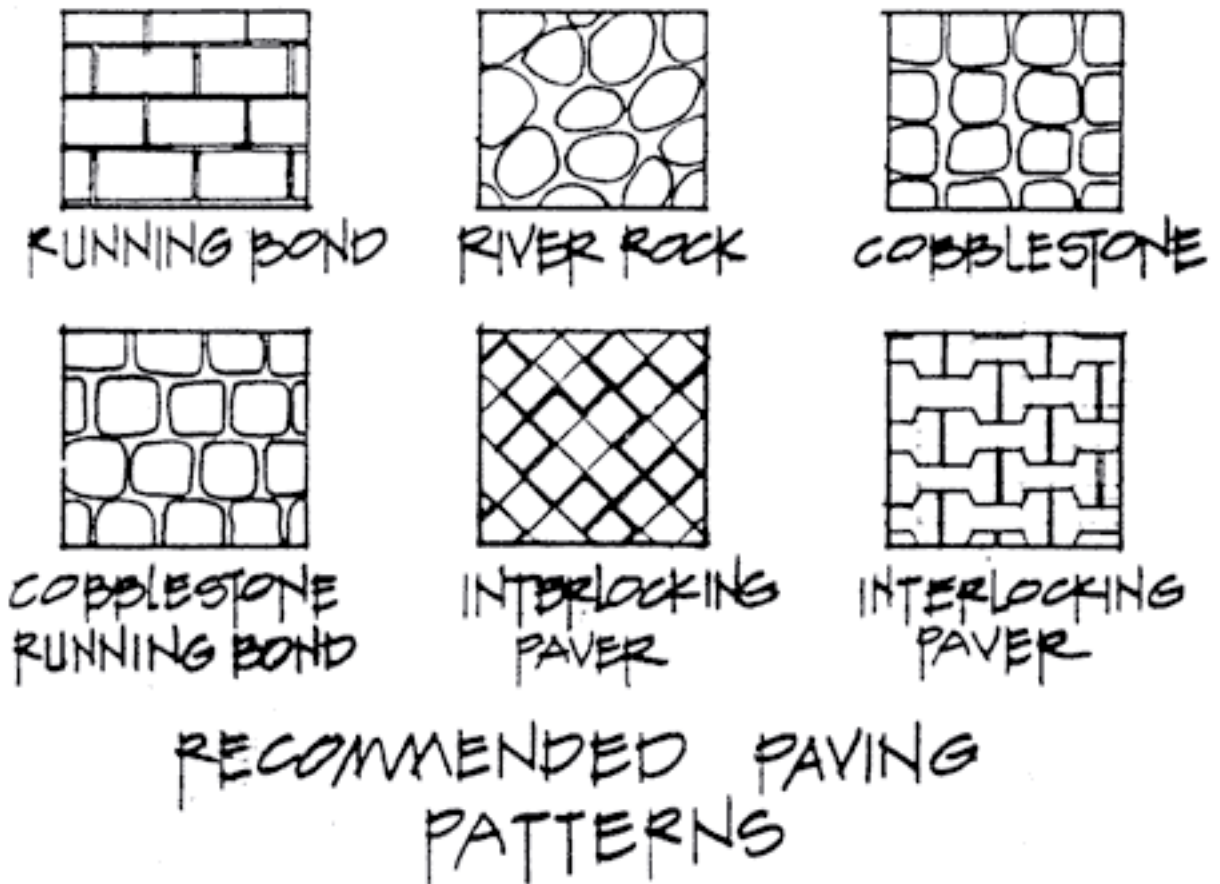
g. Paving: Excessive areas of paving will be discouraged. Paving materials for driveways, paths, steps, patios and other areas should have a dull, non-reflective surface that blends

with the natural surroundings. The use of interesting paving patterns as well as pre-cast pavers is encouraged.



THIS:





h. Ornamentation: The utilization of non-living objects as ornaments in the landscape is generally discouraged, particularly in front or side yards visible from adjacent properties and roads. Such ornamentation includes driftwood, animal skulls, wagon wheels, sculpture (flamingos, deer, cherubs, etc.) Individual expression is permissible so long as it does not detract from the goal of promoting a pleasing and harmonious landscape character in Castle Pines North.

i. Water Conservation: In the landscaping of home and other development sites, it is urged that plant materials, irrigation systems and maintenance practices be utilized which conserve water. Although water conserving landscapes are often associated with a rather bleak "dry-land" appearance, it should be noted that a more traditional "green" appearance can be achieved while still using much less water than typical suburban residential landscapes. Consultation with a landscape architect or designer experienced in designing water conserving landscapes is encouraged.

j. Irrigation: All landscaping shall be provided with a method of irrigation suitable to ensure the continued survival of planted materials. Drip irrigation, a water conserving method, is a recommended irrigation technique for use in Castle Pines North.

k. Maintenance: All landscaping shall be maintained in a neat and attractive condition. Minimum maintenance requirements include watering, mowing, edging, pruning, removal and replacement of dead or dying plants, removal and/or killing of weeds and undesirable grasses, and removal of trash.

l. Landscape Improvements/Timing: If a certificate of occupancy (C.O.) is obtained for a new residence between March 1 and September 1, there is a 60 day period from the receipt within which the landscaping must be installed. If a C.O. is obtained for a new residence after September 1 but before March 1, there is a 180 day period from the time of its receipt within which landscaping must be installed. All landscaping plans and timetables are subject to DRC approval prior to installation.

m. Phased Projects: In some cases, portions of Planning Areas may be left vacant after grading has occurred for later development phases. Such vacant areas shall be planted concurrently with completion of the first phase of construction in order to prevent soil erosion. It is the responsibility of the Applicant to plant and maintain those undeveloped sites which have been subdivided, graded, but not yet built upon until such time as they are sold to a new owner(s).

3. Plant Materials List

Provided below is a listing of suggested plant materials for use in Castle Pines North. They are compatible with the soils, are low in water consumption and are native plant materials to Castle Pines North and to the surrounding region or are ornamentals which can be easily introduced.

Four (4) categories of planting types have been established with alternatives provided within each category. Both common and botanical names are given in each category. The plant types are: 1) Trees (evergreen and deciduous); 2) shrubs (evergreen and deciduous); 3) Vines; and 4) Groundcovers.

CASTLE PINES NORTH PLANT MATERIALS LIST

TREES

Scientific Name	Common Name
Evergreen	
<i>Pinus nigra</i>	Austrian Pine
<i>Pinus ponderosa</i>	Ponderosa Pine
<i>Pinus strobiformis</i>	Southwestern White Pine
<i>Pinus aristata</i>	Bristlecone Pine
<i>Pinus edulis</i>	Pinon Pine
<i>Pinus flexilis</i>	Limber Pine
<i>Picea pungens</i>	Colorado Spruce
<i>Abies concolor</i>	White Fir
<i>Juniperus monosperma</i>	Juniper Oneseed
<i>Pseudotsuga menziesii</i>	Douglas Fir
<i>Juniperus virginiana</i>	Red Cedar
<i>Juniperus scopulorum</i>	Rocky Mountain Juniper

Scientific Name	Common Name
Deciduous	
<i>Populus augustifolia</i>	Narrowleaf Cottonwood
<i>Populus sargentii</i>	Plains Cottonwood
<i>Populus acuminata</i>	Lanceleaf Cottonwood
<i>Populus deltoides</i>	Siouxland Cottonwood
<i>Fraxinus pennsylvanica</i>	Green Ash
<i>Fraxinus americana</i> "Autumn Purple"	Autumn Purple Ash
<i>Catalpa speciosa</i>	Western Catalpa
<i>Koelreuteria paniculata</i>	Golden Rain Tree
<i>Acer ginnala</i>	Korean Maple

<i>Acer platanoides</i>	Norway Maple
<i>Elaeagnus angustifolia</i>	Russian Olive
<i>Celtus occidentalis</i>	Hackberry
<i>Tilia americana</i>	American Linden
<i>Tilia cordata</i>	Littleleaf Linden
<i>Syringa japonica</i>	Japanese Tree Lilac
<i>Malus sp.</i>	Dolga Crabapple
<i>Malus sp.</i>	Radiant Crabapple
<i>Crataegus mollis</i>	Downy Hawthorn
<i>Prunus cerasifera</i> "Newport"	Newport Plum
<i>Quercus palustris</i>	Pin Oak

SHRUBS

Scientific Name	Common Name
Evergreen:	
<i>Juniperus Sabina</i> "Buffalo"	Buffalo Juniper
<i>Juniperus chinensis pfitzeriana</i>	Pfitzer Juniper
<i>Juniperus chinensis</i> "Armstrong"	Armstrong Juniper
<i>Juniperus horizontalis plumosa</i>	Andorra Juniper
<i>Juniperus sabina tamariscifolia</i>	Tam Juniper
<i>Pinus mugo mughus</i>	Mugo Pine

Scientific Name	Common Name
Broadleaf Evergreen	
<i>Mahonia repens</i>	Creeping Hollygrape
<i>Cytisus x praecox</i>	Moonlight Broom
<i>Cotoneaster apiculata</i>	Cranberry Cotoneaster
<i>Eunonymus kiautschovica</i> "Manhattan"	Manhattan Euonymus
<i>Chamaebatiaria millefolium</i>	Fernbush
<i>Yucca glauca</i>	Great Plains Yucca
<i>Arctostaphylos uva-ursi</i>	Kinnickinnick
<i>Artemisia spp.</i>	Sagebrush

Scientific Name	Common Name
Deciduous	
<i>Amelanchier alnifolia</i>	Serviceberry

<i>Chaenomeles japonica</i>	Quince
<i>Caryopteris incana azure</i>	Blue Mist Spirea
<i>Cercocarpus ledifolius</i>	Mountain Mahogany
<i>Cornus stolonifera</i>	Redtwig Dogwood
<i>Cornus elegantissima</i>	Variegated Dogwood
<i>Euonymus alatus</i>	Burning Bush
<i>Lonicera korolkowii "Zabeli"</i>	Honeysuckle
<i>Physocarpus monogynus</i>	Mountain Ninebark
<i>Prunus cistena</i>	Cistena Plum
<i>Prunus besseyi</i>	Sandcherry
<i>Prunus virginiana demissa</i>	Chokecherry
<i>Potentilla fruticosa</i>	Potentilla
<i>Rosa foetida bicolor</i>	Austrian Copper Rose
<i>Rhus typhina laciniata</i>	Cutleaf sumac
<i>Rhamnus cathartica</i>	Buckhorn (common)
<i>Ribes alpinum</i>	Alpine Currant
<i>Salix purpurea nana</i>	Artic Dwarf Willow
<i>Sambucus canadensis</i>	Elderberry
<i>Syringa vulgaris purpurea</i>	Lilac
<i>Symphoricarpos albus</i>	Snowberry
<i>Aronia melanocarpa</i>	Chokecherry
<i>Caragana aborescens</i>	Siberian Peashrub
<i>Berberis thunbergii</i>	Barberry
<i>Philadelphus coronarius</i>	Mockorange
<i>Prunus americana</i>	American Plum
<i>P. melanocarpa</i>	Chokecherry
<i>Crataegus spp.</i>	Hawthorn
<i>Forestiera neomexicana</i>	New Mexico Olive
<i>Lonicera spp.</i>	Honeysuckle
<i>Chaenomeles spp.</i>	Quince
<i>Rhus trilobata</i>	Oakleaf Sumac
<i>Shepherdia argentea</i>	Silver Buffaloberry
<i>Sorbus sambucifolia</i>	Western Mountain Ash
<i>Sorbaria sorbifolia</i>	False Spirea
<i>Rubus parviflorus</i>	Thimbleberry
<i>Euonymus spp.</i>	Burningbush, Wintercreeper, etc.
<i>Quercus gambelii</i>	Scrub Oak
<i>Cowania mexicana</i>	Cliffrose
<i>Ribes spp.</i>	Currant
<i>Purshia tridentata</i>	Antelope Brush
<i>Viburnum spp.</i>	Viburnum
<i>Cotoneaster spp.</i>	Cotoneasters
<i>Rosa spp.</i>	Rose
<i>Spiraea vanhouttei</i>	Bridal wreath

VINES

Scientific Name	Common Name
Clematis spp.	Clematis
Campsis radicans	Trumpet Vine
Celastris	Bittersweet
wisteria sinensis	Wisteria
Polygonum aubertii	Silver Lace Vine
Parthenocissus quinquefolia	Englemann Ivy

GROUNDCOVERS

Scientific Name	Common Name
Polygonum	Border Jewel
Sedum spp.	Dragon's Blood or Stonecrop
Campsis radicans	Trumpet Vine
Teucrium canadensis	Germander
Lonicera japonica "Halliana"	Hall's Honeysuckle
Euonymus fortunei "Vegetus"	Big Leaf Winter Creeper

APPENDIX E

ROOFING MATERIALS

Laminated (Dimensional) Asphaltic Roofing

Laminated (Dimensional) Asphaltic Roofing may be appropriate under certain circumstances for specific architectural proposals in Castle Pines North. The following criteria will be used in the review of such proposals by the Design Review Committee.

Basic Specification:	Semi-Custom/Custom Specification:
Premium laminated construction; "Dimensional" style.	Premium Laminated Construction; "Dimensional" style.
Weight: Minimum 325 lbs. per square, (100 sq.ft.).	Weight: Minimum 360 lbs. per square, (100 sq.ft.)
Warranty: Minimum 40 years.	Warranty: Minimum 40 years.
U.L. Rating: Class A Fire Resistant.	U.L. Rating: Class A Fire Resistant

The Design Review Committee shall be the sole determination of which specification applies to each subcommunity. At the date of acceptance (11-9-94) of this standard the following shall apply.

Huntington Ridge:	Semi-Custom/Custom
Claremont:	Semi-Custom/Custom
The Retreat:	Basic
Glen Oaks:	Semi-Custom/Custom
The Hamlet:	Basic
The Writer Communities:	Not subject to Castle Pines North Design Guidelines.

As sub-communities are approved within Castle Pines North in the future the Design Review Committee

shall determine which specification shall apply to that sub-community.

Locational Criteria (Semi-Custom/Custom Only):

Laminated (dimensional) asphaltic roofing materials, meeting the qualifications listed above, will be considered by the Design Review Committee subject to the following requirements:

1. Qualified laminated (dimensional) asphaltic roofing products shall not occur more frequently than every third residence on any given street frontage, (considered as one given side of the street).

Architectural Design Criteria:

The Design Review Committee will consider laminated (dimensional) asphaltic roofing materials in the context of the specific architectural design proposed for the home. The following criteria are part of our consideration.

1. Proportion and scale: Where architectural massing and roof design are highly articulated laminated (dimensional) asphaltic roofing is appropriate. In the case of very simple architectural forms, or where very expansive or simplistic roof planes are proposed, laminated (dimensional) asphaltic roofing is not appropriate.

2. Eaves and fascia: Significant roof overhangs, as well as substantial fascia treatment, (in both depth of fascia and relief), are suggested. Short or "clipped" eaves and simplistic fascia lines will not lend themselves to the use of laminated (dimensional) asphaltic roofing.

3. Overall materials and colors: Where the proposed exterior architectural treatment is rich in natural texture and color, such as stone masonry or rough-sawn cedar siding, the use of a somewhat less highly textured roofing material, such as laminated (dimensional) asphaltic shingles, may serve to enhance the overall architectural quality of the home, and bring out the richness and the balance of materials and colors. For homes with exterior materials which are more subdued, smooth or simple in texture, a more highly textured roofing material may serve to enhance the overall architectural quality of the home.

As with any other choice of roofing material, where laminated (dimensional) asphaltic roofing materials are proposed, the colors shall be compatible with the total materials and colors palette for the home. Colors are limited to earth tones excluding white, tan, blue, black or red.

APPENDIX F

SATELLITE ANTENNA

One (1) satellite antenna may be installed and maintained on each privately owned site in Castle Pines North, but only upon compliance with the following conditions:

- a. Prior written approval of the Castle Pines North Design Review Committee must be obtained, both before initial installation and before relocation of any previously approved existing satellite antenna.
- b. The satellite antenna shall be forty (40) inches in diameter or less and must be disguised to resemble and must be, in fact, indistinguishable from any other structures, devices, or improvements otherwise allowed in Castle Pines North and/or the the Castle Pines North Declarations and/or the Castle Pines North Design Guidelines.
- c. The satellite antenna shall not be visible from any portion of the street fronting the privately owned site.
- d. Adequate screening (berming, fencing, landscaping, etc) as is deemed necessary by the Castle Pines North Design Review Committee to effectuate the intent of paragraphs b. and c. and also to screen the satellite antenna from neighboring privately owned sites and adjacent parks, parkways, streets, greenbelts, golf courses, open space and school grounds must be proposed, shall be provided and will be required.
- e. All satellite antenna installed on a privately owned site are restricted for the personal use of the owner of that privately owned site.
- f. Mounting of satellite antenna on roofs, walls or eaves of a structure will not be permitted by the Castle Pines North Design Review Committee. When located at ground level the top of the satellite antennae shall not exceed 45' above immediately surrounding grade.
- g. Existing (prior to 3-1-95) satellite antenna may remain as long as the intent of paragraphs c. and d. are met. All existing non conforming satellite antenna shall be removed immediately upon the sale, conveyance or rental of the privately owned site.

NOTE: Design Review Committee approval of a satellite antenna is in no way to be construed as a representation, guaranty, warranty, etc. the Design Review Committee and/or the Castle Pines North Master Association that reception and/or transmission signals will be adequate or will remain undisturbed by vegetation or improvements located on surrounding properties.

Although -approved satellite antenna may be installed, all other radio, TV, or other antenna shall remain restricted from the exteriors of structures or on privately owned sites within Castle Pines North.

This guideline replaces B. Architectural Design Guidelines; Section 7. - Antenna